

PINE VALLEY SUBDIVISION, SECOND ADDITION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 53.2± acre, 10 lot subdivision, which is located on the East side of Schillinger Road South, 550'± South of Adobe Ridge Road South, extending to the East terminus of Adobe Ridge Road South. The site is served by public water and sanitary sewer.

The purpose of the application is to subdivide three metes and bounds parcels into ten lots of record, as well as a large tract shown as future development.

The site fronts Schillinger Road, a planned major street with a right-of-way varying from 100'± to 150'± adjacent to the site, which complies with the Major Street Plan. As a means of access management, Lot 10 should be denied direct access to Schillinger Road.

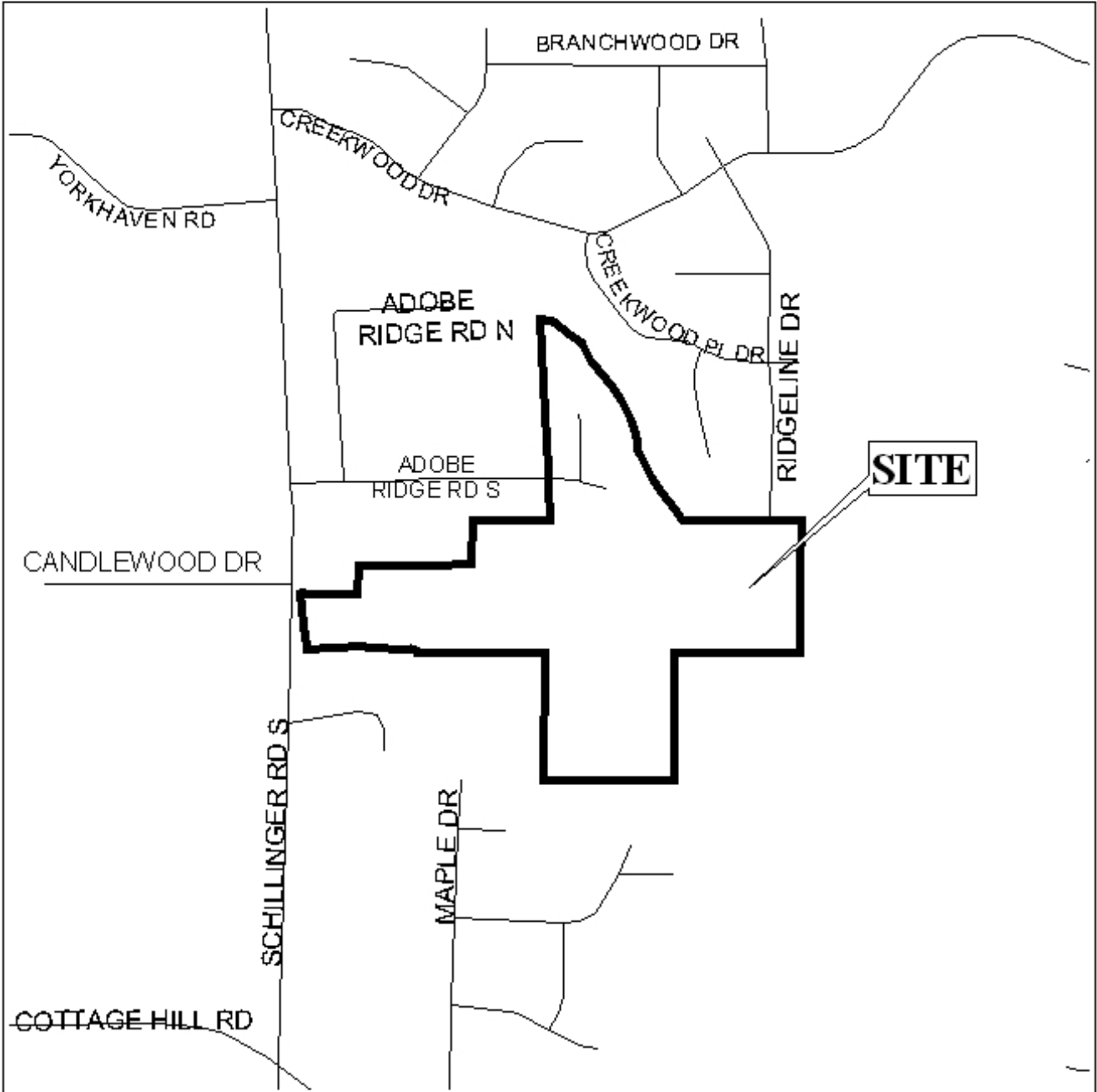
The subdivision involves the creation of a new street, which should be constructed to County Engineering standards and dedicated. A temporary turnaround should be provided at the East end until the rest of the street is constructed.

The required 25' building setback line is not shown, but would be required on the final plat. It should also be noted that in four places, the bearings on the drawing do not correspond to those in the legal description; this should be corrected on the final plat.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions: 1) the placement of a note on the final plat stating that Lot 10 is denied access to Schillinger Road; 2) the construction and dedication of the new street; 3) the provision of a temporary turnaround at the East end of the new street; 4) the depiction of the 25' building setbacks on the final plat; 5) the correlation of bearings in the legal description and on the drawing on the final plat; and 6) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

LOCATOR MAP



APPLICATION NUMBER 25 DATE April 21, 2005

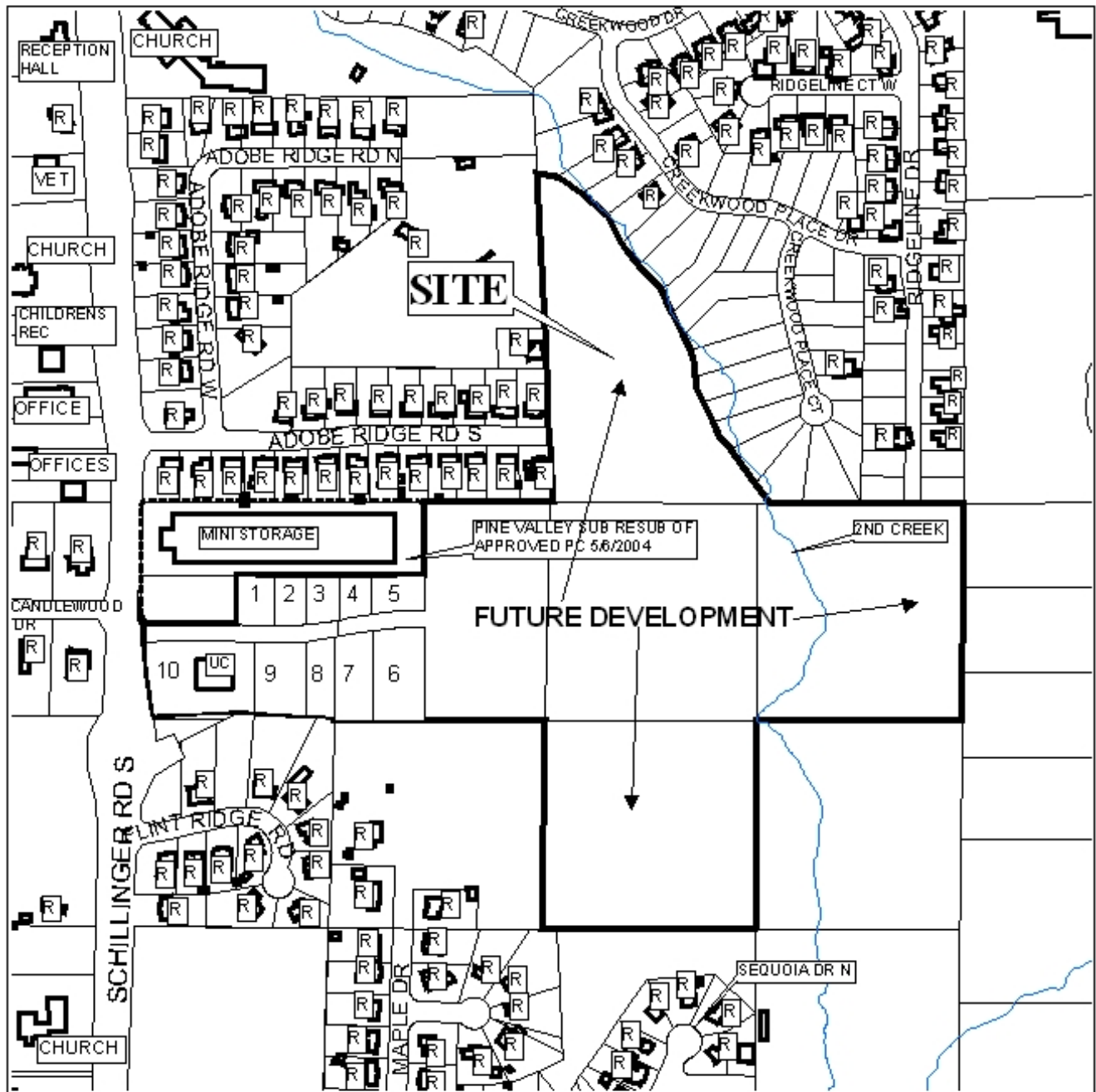
APPLICANT Pine Valley Subdivision, Second Addition

REQUEST Subdivision









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PINE VALLEY SUBDIVISION, SECOND ADDITION



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- LEGEND
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| R-1 | R-2 | R-3 | R-A | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |

