

MERTZ COURT SUBDIVISION RESUBDIVISION OF A PART OF LOT3

Engineering Comments: It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 0.6± acre, 3 lot subdivision, which is located on the North side of Moot Avenue, 255'± West of McRae Avenue, extending to the South side of Thompson Drive South, in City Council District 4. The site is served by city water and sanitary facilities.

The purpose of this application is to create three lots of record from a metes and bounds portion of a legal lot. The excluded portion of the parent parcel appears to have been illegally subdivided in 1963, and typically it should be included in the subdivision process. However, due to multiple ownerships of the property, an exception would be appropriate.

The site fronts South Thompson Drive and Moot Avenue with 50' of right-of-way each. Since both are minor streets with curb and gutter, they are compliant with Section V.B.14. of the Subdivision Regulations, and no right-of-way dedication is required.

Lots 1 and 2 have approximately 80' of frontage each along South Thompson Drive, and Lot 3 has approximately 60' of frontage along Moot Avenue. As a means of access management, a note should be placed on the final plat stating that Lots 1 and 2 are limited to one curb cut each to South Thompson Drive, and Lot 3 is limited to one curb cut to Moot Avenue, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Based on the preceding, the application meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that Lots 1 and 2 are limited to one curb cut each to South Thompson Drive, and Lot 3 is limited to one curb to Moot Avenue, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards; and
- 2) subject to engineering comments: *(It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*

LOCATOR MAP



APPLICATION NUMBER 20 DATE December 6, 2007

APPLICANT Mertz Court Subdivision, Resubdivision of a Part of Lot 3

REQUEST Subdivison



NTS

MERTZ COURT SUBDIVISION, RESUBDIVISION OF A PART OF LOT 3



APPLICATION NUMBER 20 DATE December 6, 2007

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS