



**Agenda Item #: 20**  
**MOD-002924-2024**

View additional details on this proposal and all application materials using the following link:

[\*\*Applicant Materials for Consideration –  
Planned Unit Development Modification\*\*](#)

**DETAILS**

**Location:**

5800 Southland Drive

**Subdivision Name:**

Charter Southland Hospital Subdivision, Resubdivision  
of Lot 1, Resubdivision of Lots 1 and 2

**Applicant:**

Robert Carlock, AltaPointe Health Systems, Inc.

**Property Owner:**

AltaPointe Health Systems, Inc.

**Current Zoning:**

B-1, Buffer Business Suburban District

**Future Land Use:**

Low Density Residential

**Applicable Codes, Policies, and Plans:**

- Unified Development Code
- Subdivision Regulations
- Map for Mobile Comprehensive Plan

**Schedule for Development:**

- Submitting for permit and bidding by July 2024.
- Construction starting in September 2024.
- Construction ending around February 2026.

**Proposal:**

- Major Modification of a previously approved Planned Unit Development.

**Considerations:**

1. Major Modification of a previously approved Planned Unit Development with eight (8) conditions.


**Report Contents:**

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# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by residential units.

APPLICATION NUMBER <u>      20      </u> DATE <u>      June 20, 2024      </u>	 NTS
APPLICANT <u>      Robert Carlock, AltaPointe Health Systems, Inc.      </u>	
REQUEST <u>      PUD Modification      </u>	

## SITE HISTORY

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The subject site was assigned an R-A, Residential-Agricultural zoning classification with the adoption of the 1967 Zoning Ordinance.

At some time later, it was rezoned to R-2, Two-Family Residential District, and in 1982, it was rezoned to B-1, Buffer Business District.

In 1984 the site was made a legal lot of record via Charter Southland Hospital Subdivision, a one-lot subdivision.

In 1985 Charter Southland Hospital Subdivision was resubdivided into two lots via Charter Southland Hospital, Resubdivision of Lot 1.

In 2012 the site was resubdivided back into one lot via Charter Southland Hospital, Resubdivision of Lot 1, Resubdivision of Lots 1 and 2. A Planned Unit Development (PUD) was also approved to allow multiple buildings on a single building site.

In 2014 the 2012 PUD was amended to allow multiple buildings on a single building site.

The site has never been before the Board of Zoning Adjustment.

## STAFF COMMENTS

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### **Engineering Comments:**

Retain GENERAL NOTES #3 - #8, as shown on the PUD drawing.

### **Traffic Engineering Comments:**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Article 3, Section 64-3-12 of the City's Unified Development Code.

### **Urban Forestry Comments:**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

### **Fire Department Comments:**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2021 International Fire Code). Fire apparatus access is required to be within 150' of all non-sprinklered commercial buildings and within 300' of all sprinklered commercial buildings. Fire water supply for all commercial buildings will be required to meet the guidance of Appendices B and C of the 2021 International Fire Code. The minimum requirement for fire hydrants is to be within 400' of non-sprinkled commercial buildings, within 600' of

sprinkled commercial buildings, and within 100' of fire department connections (FDC) for both standpipes and sprinkler systems.

### **Planning Comments:**

The purpose of this application is to amend the PUD approved in 2014 to allow multiple buildings on a single building site for a proposed facilities expansion.

The applicant proposes to expand the footprint of the main hospital/office building and add additional parking for the subject site. The site plan submitted illustrates the proposed building expansion along the North side of Southland Drive with three (3) proposed parking lot expansions within the site. Parking calculations provided on the site plan indicate that the parking expansion will provide an excess of 37 parking spaces.

Although office space for the facility will be increasing from 13,964 square feet to 30,719 square feet (+16,755 square feet), the total gross area increased will be less than 50% due to the fact that most building space is occupied by the hospital use, and total building under roof is given as 102,802 square feet. As such, if approved, full compliance with the development standards of Article 3 of the UDC will not be required. However, compliance with parking lot lighting requirements and the provision of a photometric plan would be required, as well as compliance with bicycle parking requirements.

Prior to recording of the site plan in Mobile County Probate Court, a revised plan reflecting compliance with the aforementioned development standards should be submitted to the Planning and Zoning Department for review; or notes should be placed on the recorded site plan stating the site will comply with all listed development requirements, with each one listed.

It should be noted that future development or redevelopment of the site may require additional modifications of the PUD to be approved by the Planning Commission and City Council. A note stating as much should be placed on the recorded site plan, if approved.

A revised Modified Planned Unit Development site plan (hard copy and pdf) illustrating compliance should be submitted to and approved by Planning and Zoning prior to recording the plan in Probate Court, as required by Section 64-5-8-B.2(f).

## **PLANNED UNIT DEVELOPMENT MODIFICATION CONSIDERATIONS**

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### **Standards of Review:**

The Unified Development Code (UDC) in Section 64-5-8-B.(5) states the following concerning Planning Approval / Planned Unit Development Modifications:

Approval Criteria. The Planning Commission shall not recommend a major modification for approval, and the City Council shall not approve the modification, unless the proposed modification:

1. Is consistent with all applicable requirements of this Chapter;
2. Is compatible with the character of the surrounding neighborhood;
3. Will not impede the orderly development and improvement of surrounding property;
4. Will not adversely affect the health, safety or welfare of persons living or working in the surrounding neighborhood, or be more injurious to property or improvements in the neighborhood:

- a. In making this determination, the Planning Commission and City Council shall consider the location, type and height of buildings or structures, the type and extent of landscaping and screening, lighting, hours of operation or any other conditions that mitigate the impacts of the proposed development; and
- b. Includes adequate public facilities and utilities;
- 5. Is subject to adequate design standards to provide ingress and egress that minimize traffic hazards and traffic congestion on the public roads;
- 6. Is not noxious or offensive by reason of emissions, vibration, noise, odor, dust, smoke or gas; and
- 7. Shall not be detrimental or endanger the public health, safety or general welfare.
- 8. Benefits Consideration. In addition, consideration should also be given to the City's and the larger community's best interests and the need, benefit, or public purpose of the proposed request.

**Considerations:**

If the Planning Commission considers a recommendation of approval of the Modified Planned Unit Development, the following findings should be present:

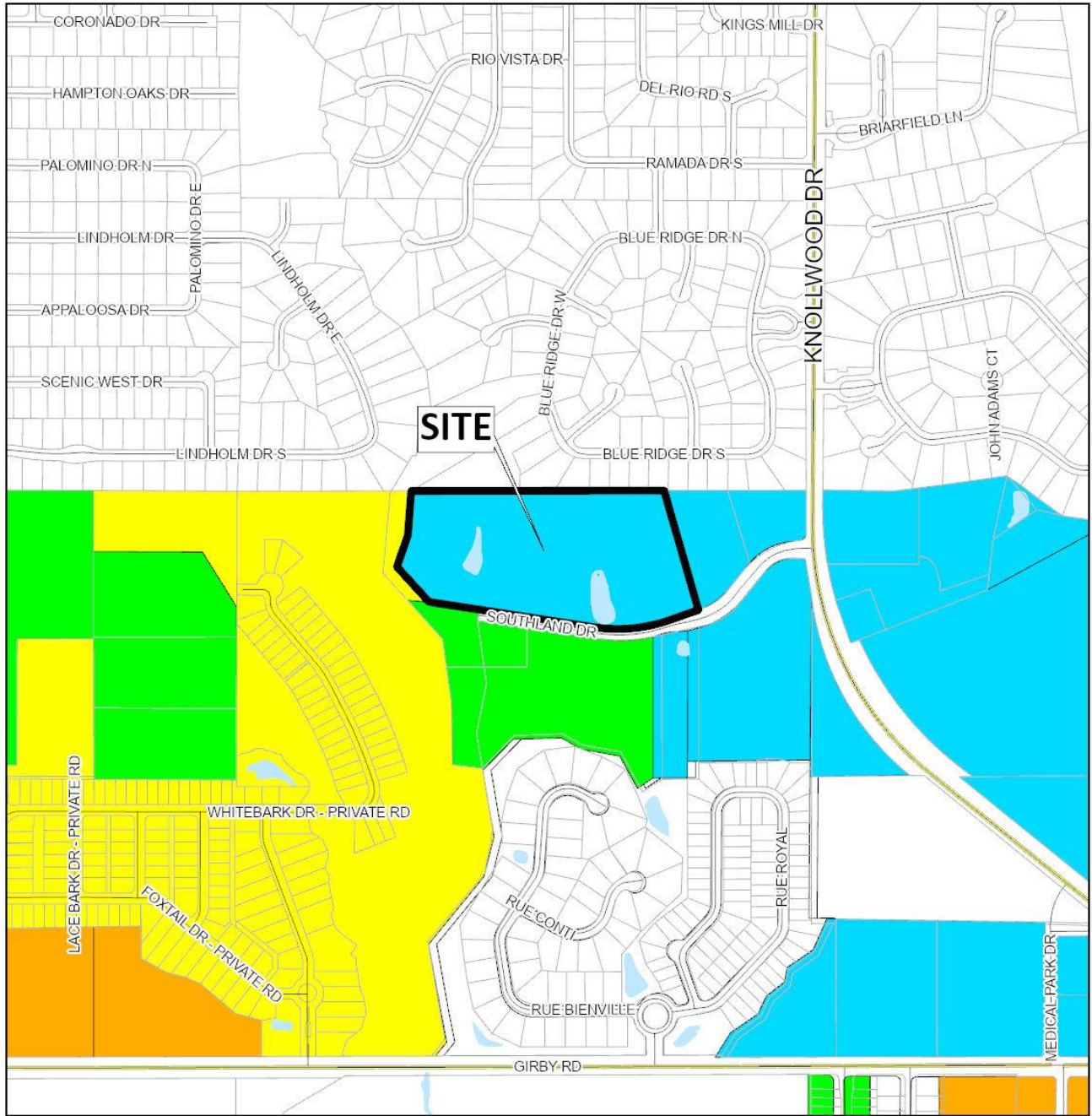
- A. It is consistent with all applicable requirements of this Chapter;
- B. It is compatible with the character of the surrounding neighborhood;
- C. It will not impede the orderly development and improvement of surrounding property;
- D. It will not adversely affect the health, safety or welfare of persons living or working in the surrounding neighborhood, or be more injurious to property or improvements in the neighborhood:
  - a. In making this determination, the Planning Commission and City Council shall consider the location, type and height of buildings or structures, the type and extent of landscaping and screening, lighting, hours of operation or any other conditions that mitigate the impacts of the proposed development; and
  - b. Includes adequate public facilities and utilities;
- E. It is subject to adequate design standards to provide ingress and egress that minimize traffic hazards and traffic congestion on the public roads;
- F. It is not noxious or offensive by reason of emissions, vibration, noise, odor, dust, smoke or gas; and
- G. It shall not be detrimental or endanger the public health, safety or general welfare.
- H. Benefits Consideration. In addition, consideration should also be given to the City's and the larger community's best interests and the need, benefit, or public purpose of the proposed request.

The following conditions should apply:

- 1. Revision of the site plan to reflect compliance with the development standards of Article 3 of the UDC for parking lot lighting requirements and bicycle parking, or placement of notes on the site plan stating the site will comply with these development requirements;
- 2. Placement of a note on the revised site plan stating future development or redevelopment of the site may require additional modifications of the PUD to be approved by the Planning Commission and City Council;
- 3. Compliance with all Engineering comments noted in this staff report;
- 4. Placement of a note on the recorded site plan stating the Traffic Engineering comments noted in this staff report;
- 5. Compliance with all Urban Forestry comments noted in this staff report;
- 6. Compliance with all Fire Department comments noted in this staff report;
- 7. Submittal to and approval by Planning and Zoning of the revised Modified Planned Unit Development site plan prior to its recording in Probate Court, and provision of a copy of the recorded site plan (hard copy and pdf) to Planning; and

8. Full compliance with all municipal codes and ordinances.

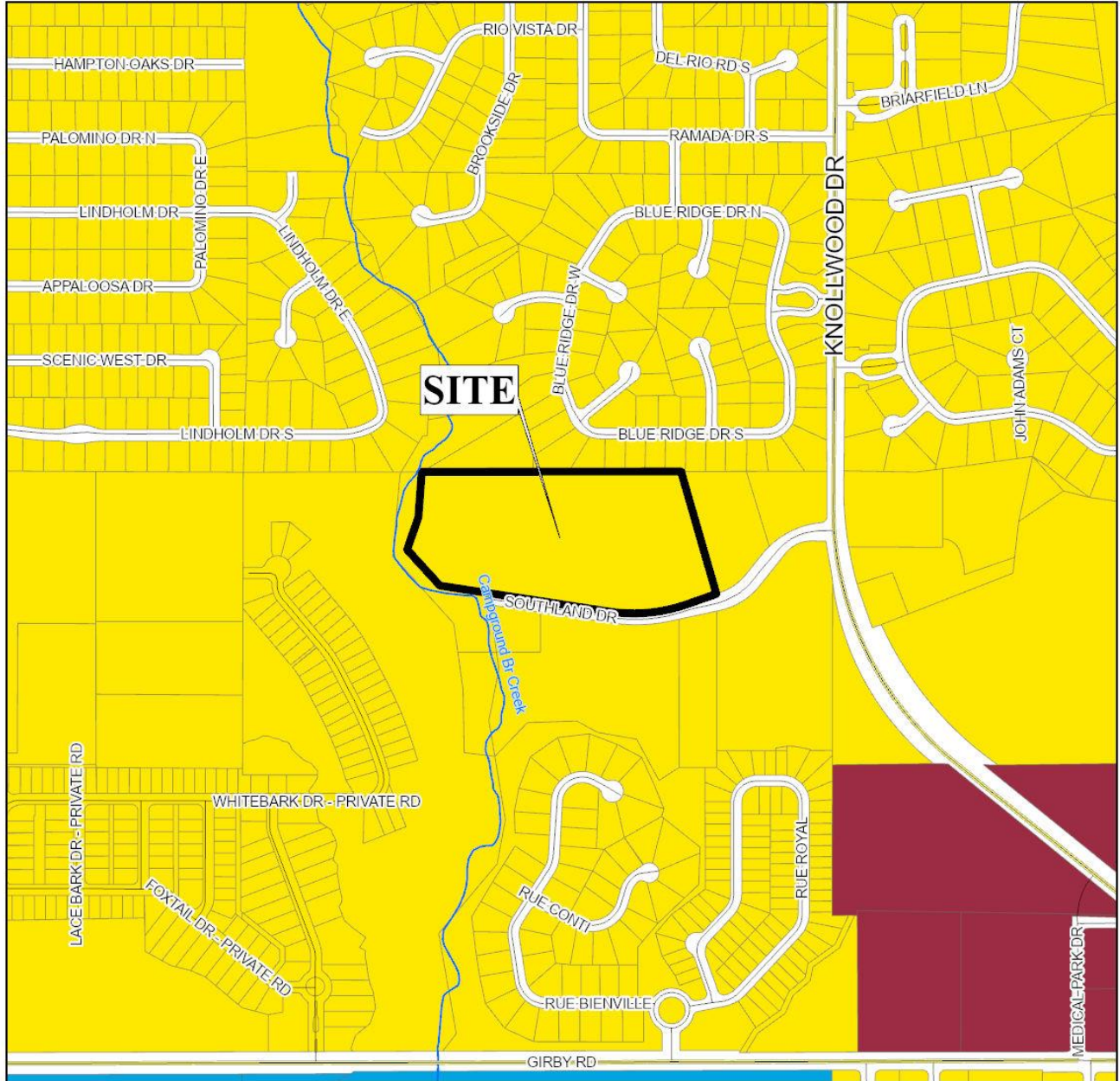
# LOCATOR ZONING MAP




APPLICATION NUMBER _____ 20 _____	DATE _____ June 20, 2024
APPLICANT _____ Robert Carlock, AltaPointe Health Systems, Inc.	
REQUEST _____ PUD Modification	



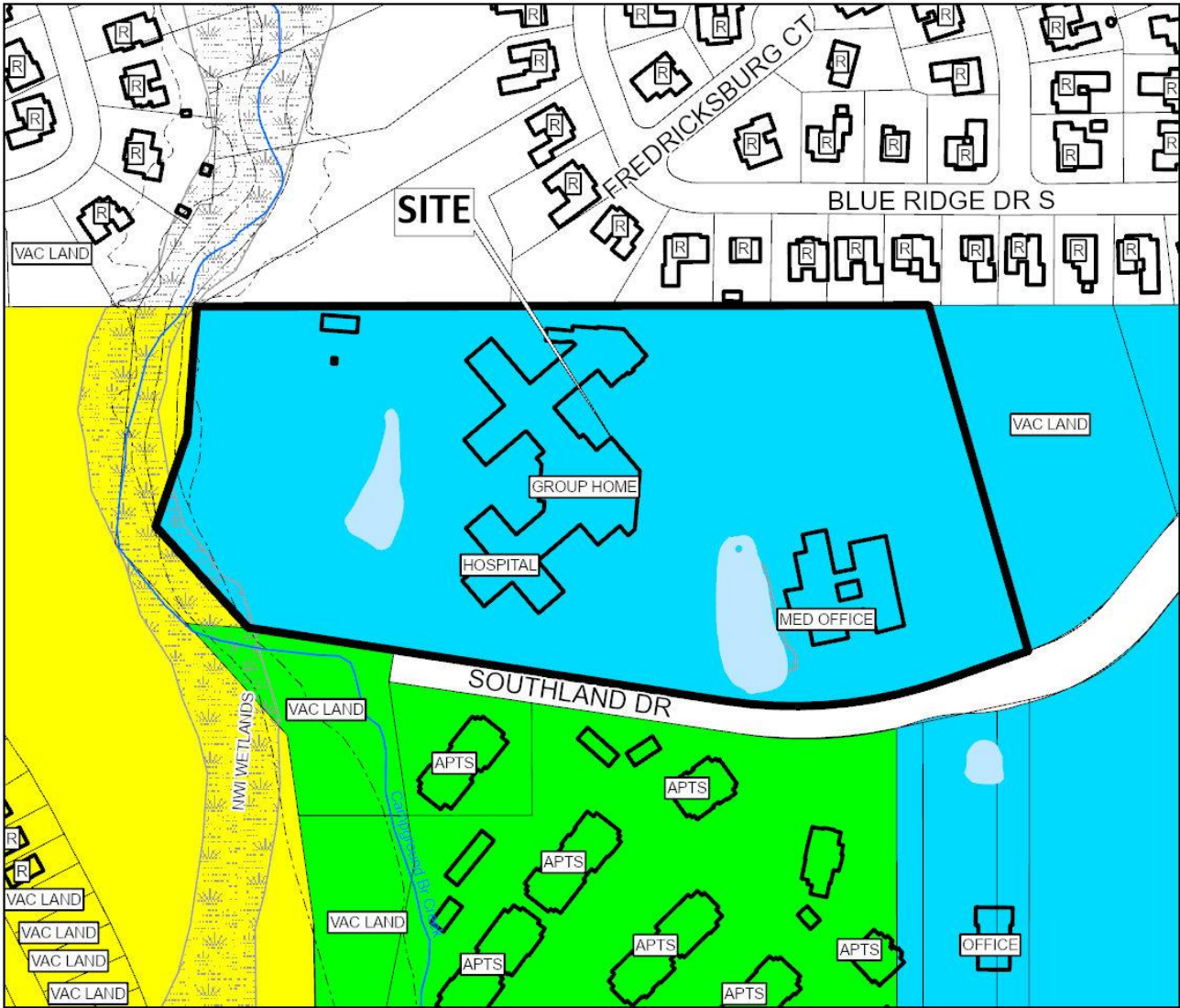
# FLUM LOCATOR MAP




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APPLICANT <u>      Robert Carlock, AltaPointe Health Systems, Inc.      </u>			
REQUEST <u>      PUD Modification      </u>			
<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black; margin-right: 5px;"></span> Low Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black; margin-right: 5px;"></span> Mixed Density Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: red; border: 1px solid black; margin-right: 5px;"></span> Downtown</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: darkred; border: 1px solid black; margin-right: 5px;"></span> District Center</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: brown; border: 1px solid black; margin-right: 5px;"></span> Neighborhood Center - Traditional</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: blue; border: 1px solid black; margin-right: 5px;"></span> Neighborhood Center - Suburban</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: pink; border: 1px solid black; margin-right: 5px;"></span> Traditional Corridor</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black; margin-right: 5px;"></span> Mixed Commercial Corridor</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: darkred; border: 1px solid black; margin-right: 5px;"></span> Downtown Waterfront</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightgrey; border: 1px solid black; margin-right: 5px;"></span> Light Industry</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black; margin-right: 5px;"></span> Heavy Industry</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: cyan; border: 1px solid black; margin-right: 5px;"></span> Institutional</li> </ul>	<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightgreen; border: 1px solid black; margin-right: 5px;"></span> Parks &amp; Open Space</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: darkblue; border: 1px solid black; margin-right: 5px;"></span> Water Dependent</li> </ul>



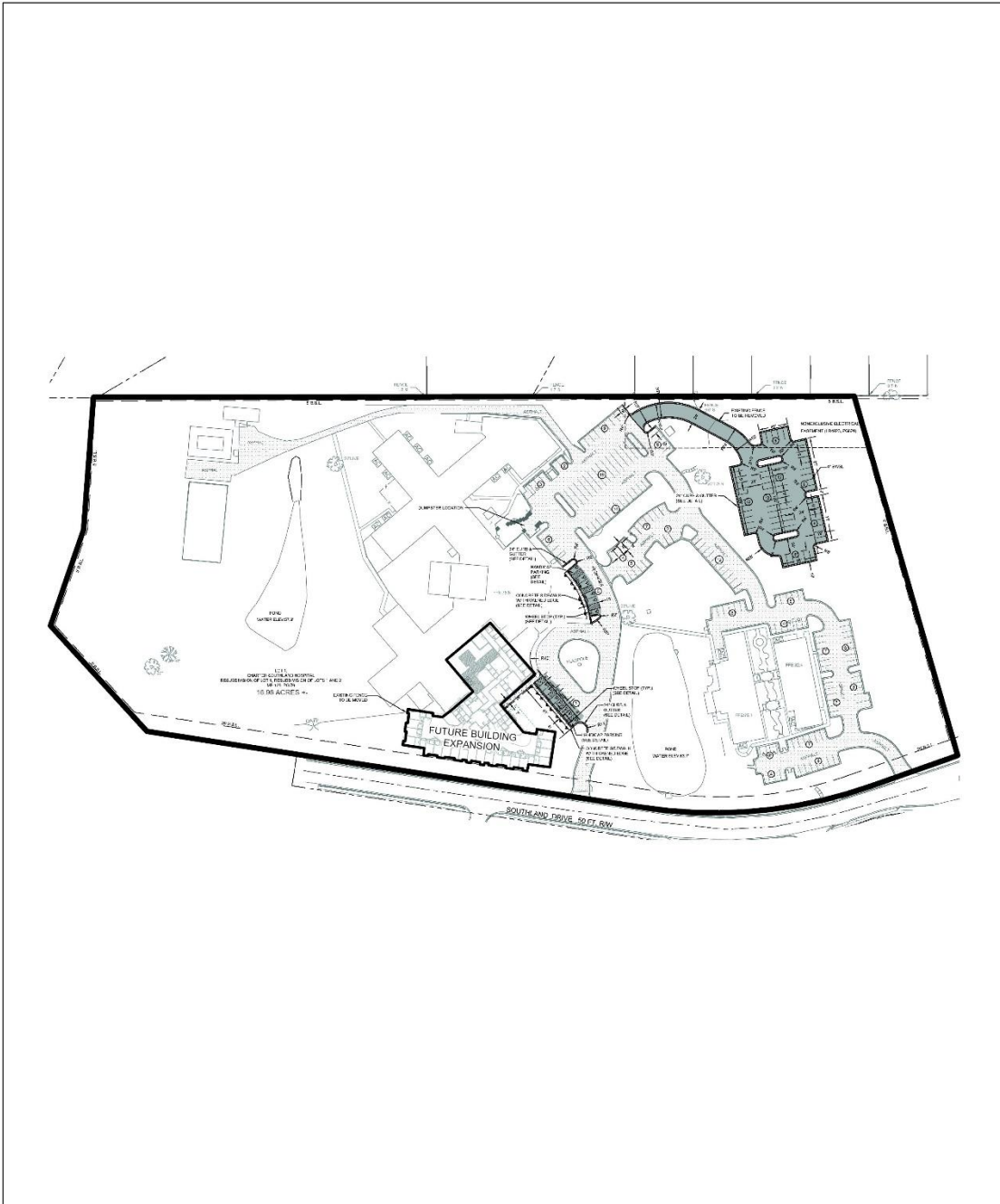
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# SITE PLAN



The site plan illustrates the existing buildings, parking, fencing, and areas for proposed scope of work.

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APPLICANT	Robert Carlock, AltaPointe Health Systems, Inc.		
REQUEST	PUD Modification		
			

ZONING DISTRICT CORRESPONDENCE MATRIX		LOW DENSITY RESIDENTIAL (LDR)	MIXED DENSITY RESIDENTIAL (MXDR)	DOWNTOWN (DT)	DISTRICT CENTER (DC)	NEIGHBORHOOD CENTER - TRADITIONAL (NC-T)	NEIGHBORHOOD CENTER - SUBURBAN (NC-S)	TRADITIONAL CORRIDOR (TC)	MIXED COMMERCIAL CORRIDOR (MCC)	LIGHT INDUSTRIAL (LI)	HEAVY INDUSTRY (HI)	INSTITUTIONAL LAND USE (INS)	PARKS & OPEN SPACE (POS)	DOWNTOWN WATERFRONT (DW)	WATER DEPENDENT USES (WDWRU)
RESIDENTIAL - AG	R-A														
ONE-FAMILY RESIDENCE	R-1	■				■		■					□		
TWO-FAMILY RESIDENCE	R-2	■				■		■					□	○	
MULTIPLE-FAMILY	R-3	○	■			■	■						□	○	
RESIDENTIAL-BUSINESS	R-B		○			■		■					□	○	
TRANSITIONAL-BUSINESS	T-B		○		■	■	■	■					□		
HISTORIC BUSINESS	H-B			■		■		■					□		
VILLAGE CENTER	TCD					■	■						□		
NEIGH. CENTER	TCD					■	■						□		
NEIGH. GENERAL	TCD					■							□		
DOWNTOWN DEV. DDD	T-6			■									□		
DOWNTOWN DEV. DDD	T-5.1			■		■		□					□		
DOWNTOWN DEV. DDD	T-5.2			■		■							□		
DOWNTOWN DEV. DDD	T-4			■		■		□					□		
DOWNTOWN DEV. DDD	T-3			■		■							□		
DOWNTOWN DEV. DDD	SD-WH									○	○		□		
DOWNTOWN DEV. DD	SD	○	○	○	○	○	○	○		○	○		□		
BUFFER BUSINESS	B-1		□			□	■	■	■				□	○	
NEIGH. BUSINESS	B-2		○			□	■	■	■				□	○	
LIMITED BUSINESS	LB-2		○			□	■	■	■				□	○	
COMMUNITY BUSINESS	B-3				■				■			○	□	○	
GEN. BUSINESS	B-4			■					■			○	□	○	
OFFICE-DISTRIBUTION	B-5								■	■			□	□	
LIGHT INDUSTRY	I-1									■			□	□	□
HEAVY INDUSTRY	I-2										■		□		□

**Zoning District Correspondence Matrix**

- Directly Related
- Elements of the zoning category are related to the future LU category, but with qualifications (such as a development plan with conditions)
- Land use category is appropriate, but the district does not directly implement the category (e.g., open space in an industrial district)

# Residential Land Use



## LOW DENSITY RESIDENTIAL (LDR)

This designation applies to existing residential neighborhoods found mostly west of the Beltline or immediately adjacent to the east side of the Beltline.

The primary land use in the LDR districts is residential and the predominant housing type is the single-family housing unit, detached or semi-detached, typically placed within a street grid or a network of meandering suburban streets. The density in these districts ranges between 0 and 6 dwelling units per acre (du/ac).

These neighborhoods may also contain small-scale, low-rise multi-unit structures at appropriate locations, as well as complementary retail, parks and civic institutions such as schools, community centers, neighborhood playgrounds, and churches or other religious uses if those uses are designed and sited in a manner compatible with and connected to the surrounding context. The presence of individual ancillary uses should contribute to the fabric of a complete neighborhood, developed at a walkable, bikeable human scale.