

**PLANNED UNIT DEVELOPMENT
STAFF REPORT**

Date: March 1, 2012

DEVELOPMENT NAME

SMC Distributors, LLC

LOCATION

800 Downtowner Loop West
(West side of Downtowner Loop West, 55'± South of
Midmost Drive).

**CITY COUNCIL
DISTRICT**

District 5

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

1 Lot /0.79± Acres

CONTEMPLATED USE

Planned Unit Development Approval to allow two
buildings on a single building site.

**TIME SCHEDULE
FOR DEVELOPMENT**

Not given.

**ENGINEERING
COMMENTS**

Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile ROW code and ordinances. Any proposed development must comply with all storm water and flood control ordinances Of the City of Mobile, including verifying the capacity of the existing storm drainage system. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Existing sidewalk appears to curve onto private property to avoid the power poles and provide a continuous 4' sidewalk. City standard parking stall is 18' x 9'. Stall lengths in front of building should be shortened to improve the 12' aisle to a 14'-16' aisle (parking stalls are longer than necessary).

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development approval to allow two buildings on a single building site.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is *site plan specific*, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

A 6,375 square-foot, warehouse building is proposed on the site. The Zoning Ordinance requires the submission of a Planned Unit Development application and approval by the Planning Commission for multiple structures on a single building site. The site plan indicates the minimum 11 compliant parking spaces to be provided, as well as compliance with vehicle access/maneuvering space, setbacks, site coverage, sidewalks, and landscaping and tree planting requirements. As the site is surrounded by commercial properties no buffering from adjacent residential zoning is required, and trash collection will be private curbside as no dumpster is proposed for the site.

Traffic Engineering states "Stall lengths in front of building should be shortened to improve the 12' aisle to a 14'-16' aisle (parking stalls are longer than necessary)"; therefore, compliance with Traffic Engineering comments should be required to improve circulation.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

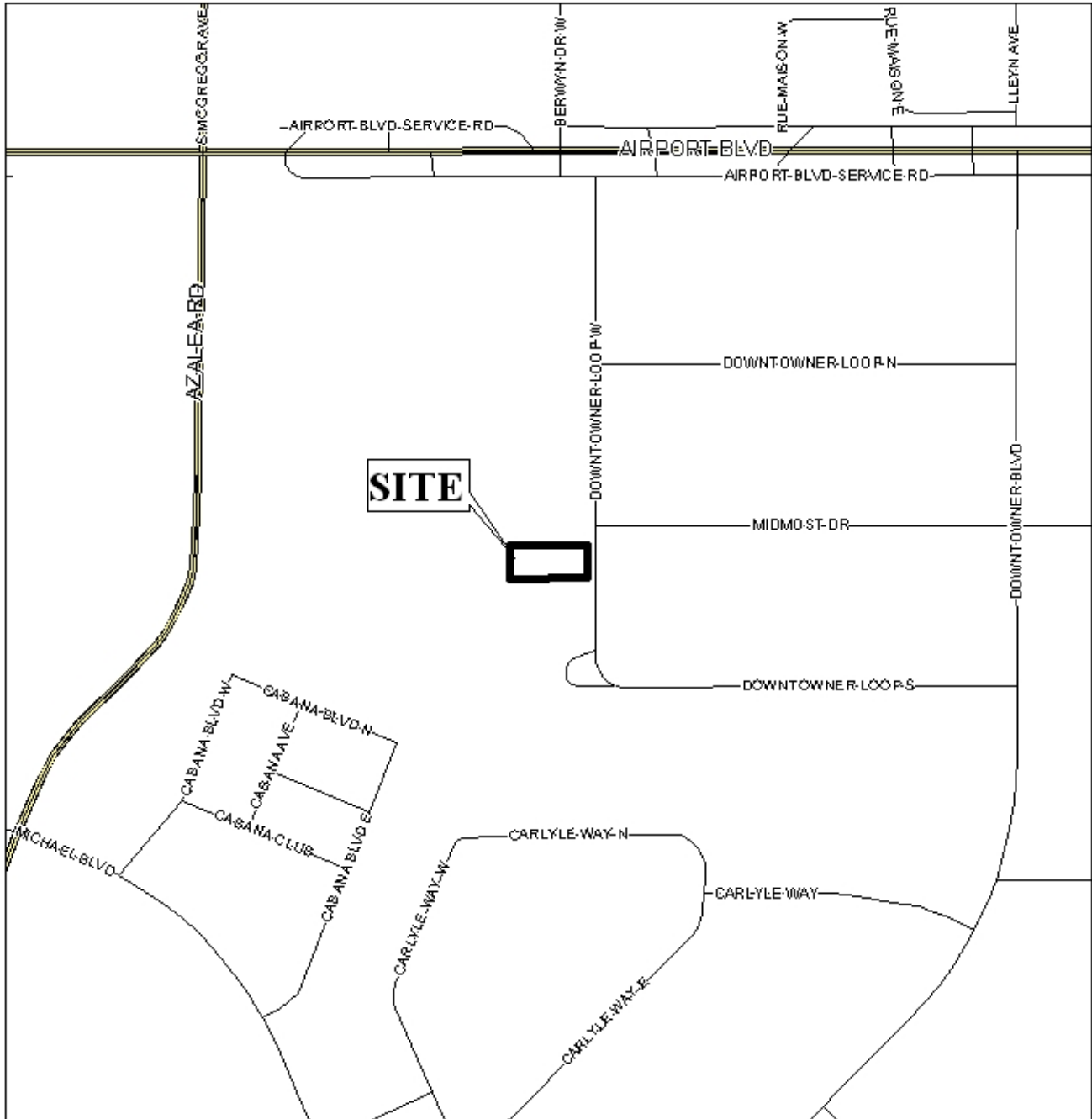
Finally, it appears that the site design may not comply with the accessibility requirements of the Americans with Disabilities Act. The design professional should ensure compliance with ADA, as well as the Zoning Ordinance.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for approval, subject to the following conditions:

- 1) submission of a revised PUD site plan to the Planning section illustrating the conditions of approval for this PUD prior to any applications for land disturbance or building permits;
- 2) placement of a note on the Planned Unit Development plan stating that maintenance of the common area/detention facilities shall be the responsibility of the property owner;
- 3) placement of a note on the revised PUD plan stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 4) subject to the Engineering comments: *(Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile ROW code and ordinances. Any proposed development must comply with all storm water and flood control ordinances Of the City of Mobile, including verifying the capacity of the existing storm drainage system. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work);*
- 5) subject to Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Existing sidewalk appears to curve onto private property to avoid the power poles and provide a continuous 4' sidewalk. City standard parking stall is 18' x 9'. Stall lengths in front of building should be shortened to improve the 12' aisle to a 14'-16' aisle (parking stalls are longer than necessary).*
- 6) subject to Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 7) verification that the site plan complies with any requirements of the Americans with Disabilities Act;
- 8) submission of a revised PUD site plan to Planning illustrating the conditions of approval for this PUD prior to any applications for land disturbance or building permits; and
- 9) compliance with all other municipal codes and ordinances.

LOCATOR MAP



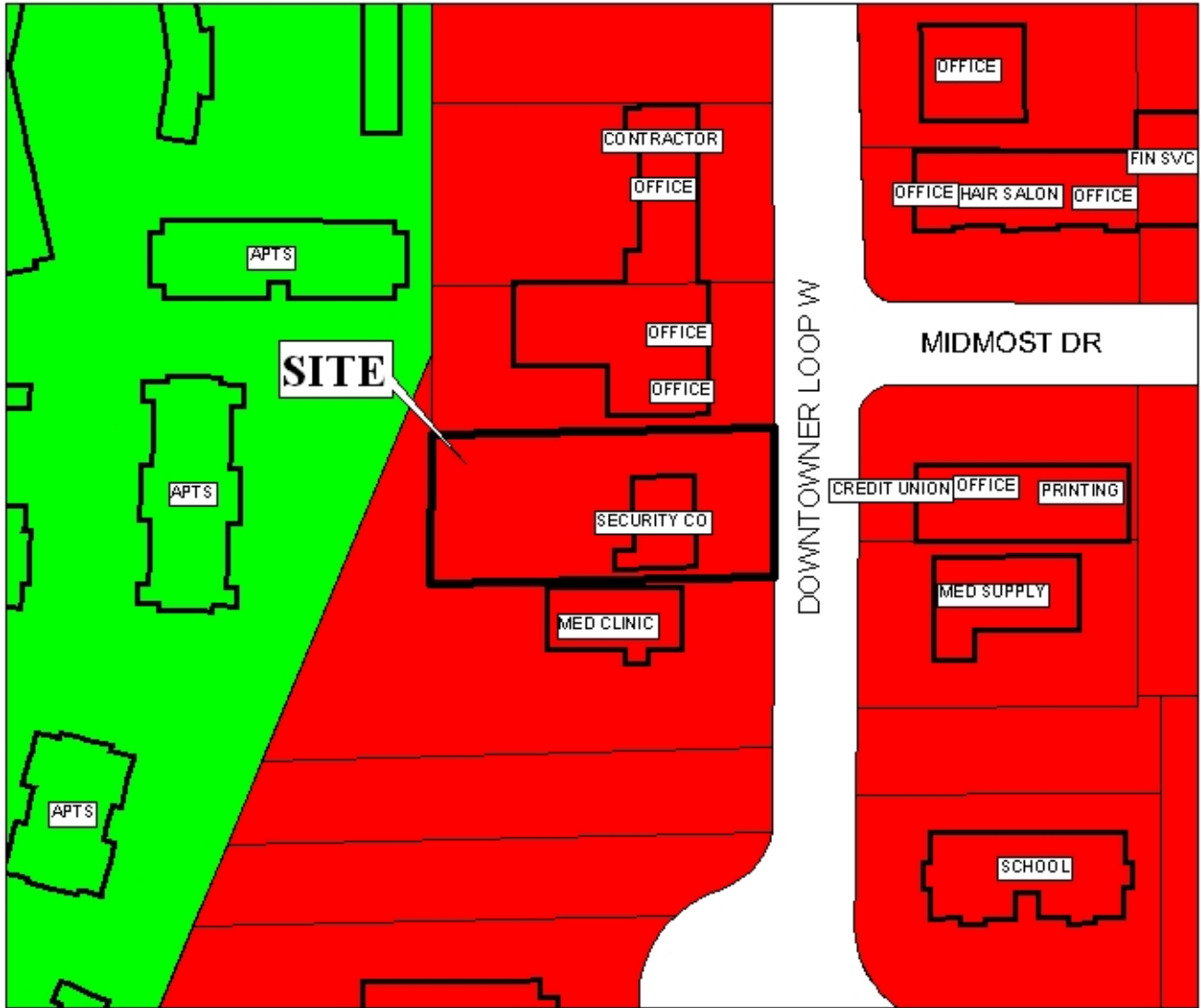
APPLICATION NUMBER 8 DATE March 1, 2012

APPLICANT SMC Distributors, LLC

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

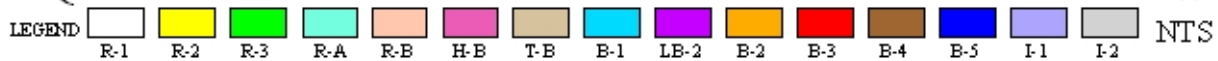


Apartments are located to the west of the site. Businesses are located to the north, east, and south of the site.

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**PLANNING COMMISSION
VICINITY MAP - EXISTING ZONING**

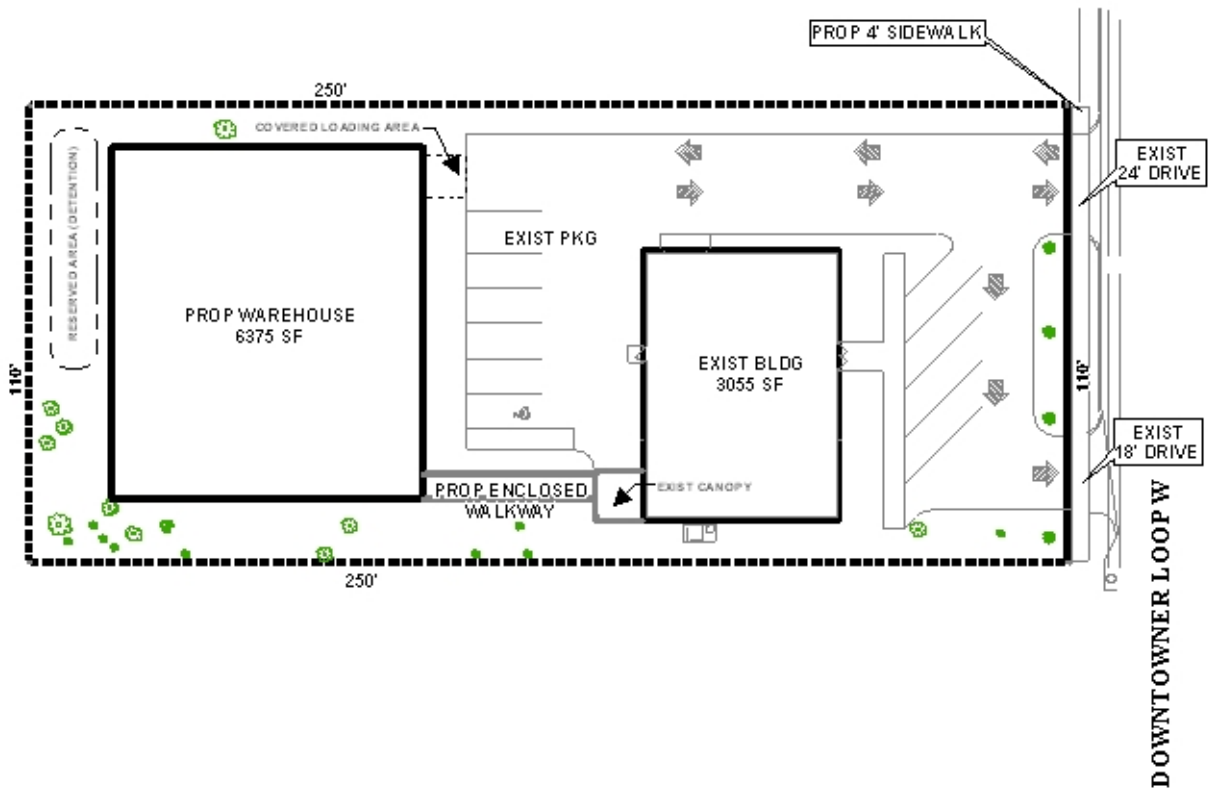


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SITE PLAN



The site plan illustrates the proposed warehouse.

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