



Agenda Item # 8

SUB-003242-2025

View additional details on this proposal and all application materials using the following link:

[Applicant Materials for Consideration](#)

DETAILS

Location:

253 North Warren Street extending to the South side of State Street, 63'± East of North Dearborn Street, extending to the Northeast corner of State Street and North Dearborn Street

Subdivision Name:

Carroll Elks Subdivision

Applicant / Agent:

Kari Givens, Byrd Surveying, Inc.

Property Owner:

Carroll, Inc.

Current Zoning:

T-4 & SD-WH Sub-Districts of the Downtown Development District

Future Land Use:

Downtown

Applicable Codes, Policies, and Plans:

- Unified Development Code
- Subdivision Regulations
- Map for Mobile Comprehensive Plan

Proposal:

- Subdivision approval to create seven (7) legal lots of record from four (4) metes-and-bounds parcels.

Considerations:

1. Subdivision proposal with twelve (12) conditions.

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CARROLL ELKS SUBDIVISION



APPLICATION NUMBER 8 DATE March 20, 2025



SITE HISTORY

The subject site was rezoned from B-4 to T-4 and SD-WH in 2014 with the adoption of the Downtown Development District (DDD).

The subject site has not been before the Planning Commission or Board of Zoning Adjustment before.

STAFF COMMENTS

Engineering Comments:

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Show and label all flood zones.
- C. Revise NOTE #7 to read - As shown on the 1984 aerial photo LOTS 1-7 will share the historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) and share the 4,000 SF credit per original lot; therefore, No LOT will be required to provide stormwater detention.
- D. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.

Traffic Engineering Comments:

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Appendix A, Section 9.C of the City's Unified Development Code.

Urban Forestry Comments:

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

Fire Department Comments:

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2021 International Fire Code). Fire apparatus access is required to be within 150' of all non-sprinklered commercial buildings and within 300' of all sprinklered commercial buildings. Fire water supply for all commercial buildings will be required to meet the guidance of Appendices B and C of the 2021 International Fire Code. The minimum requirement for fire hydrants is to be within 400' of non-sprinkled commercial buildings, within 600' of sprinkled commercial buildings, and within 100' of fire department connections (FDC) for both standpipes and sprinkler systems.

Planning Comments:

The purpose of this request is to create seven (7) legal lots of record from four (4) metes-and-bounds parcels. The site is served by public water and sanitary sewer.

The proposed lot fronts North Dearborn Street, State Street, and North Warren Street, all minor streets with curb and gutter, and “B” streets in the Downtown Development District (DDD). All existing rights-of-way are a compliant width currently. Therefore, the only potential dedication required would be the corner radius at the intersections of North Dearborn Street and State Street, and State Street and North Warren Street, if deemed necessary and appropriate by the Engineering Department.

The subject site is mostly undeveloped, with an existing structure located at 253 North Warren Street, or proposed Lot 1. The DDD requires parking to be accessed from a secondary frontage where available. A note stating this should be placed on the Final Plat, if approved. The preliminary plat includes notes stating that North Warren Street is the primary frontage for proposed Lot 3 and State Street is to be the primary frontage for proposed Lot 4. If approved, this information should be retained on the Final Plat.

Properties in T-4 sub-districts must have a minimum of 42-feet of street frontage in order to be allowed a curb cut, where a secondary frontage is not available. Properties in SD-WH sub-districts must have a minimum of 54-feet of street frontage in order to be allowed a curb cut, where a secondary frontage is not available. As such, only the proposed Lots 3 and 4 are allowed to have curb cuts. If approved, a note should be placed on the Final Plat stating such.

The subject site is within the DDD, which has property standards based upon zoning classification. A portion of the site is zoned T-4, which requires newly platted lots to have street frontage between 18-feet and 120-feet along their primary frontage. Proposed Lots 1-5 comply with this requirement. There are no minimum and maximum property width requirements for a SD-WH Sub-district (proposed Lots 6 and 7), as per Section 9.A.2., Appendix A.

Properties located within a T-4 sub-district are allowed a 12-foot maximum setback along street frontages. If approved, the maximum setback line should be retained on the Final Plat, for proposed Lots 1-5. Properties located within a SD-WH sub-district are allowed a 10-foot maximum setback along primary street frontages. If approved, the Final Plat should accurately depict a 10-foot maximum setback for proposed Lots 6 and 7.

The preliminary plat does provide the proposed lot sizes in square feet and acres. If approved, this information should be retained on the Final Plat or a table should be furnished on the Final Plat providing the same information.

SUBDIVISION CONSIDERATIONS

Standards of Review:

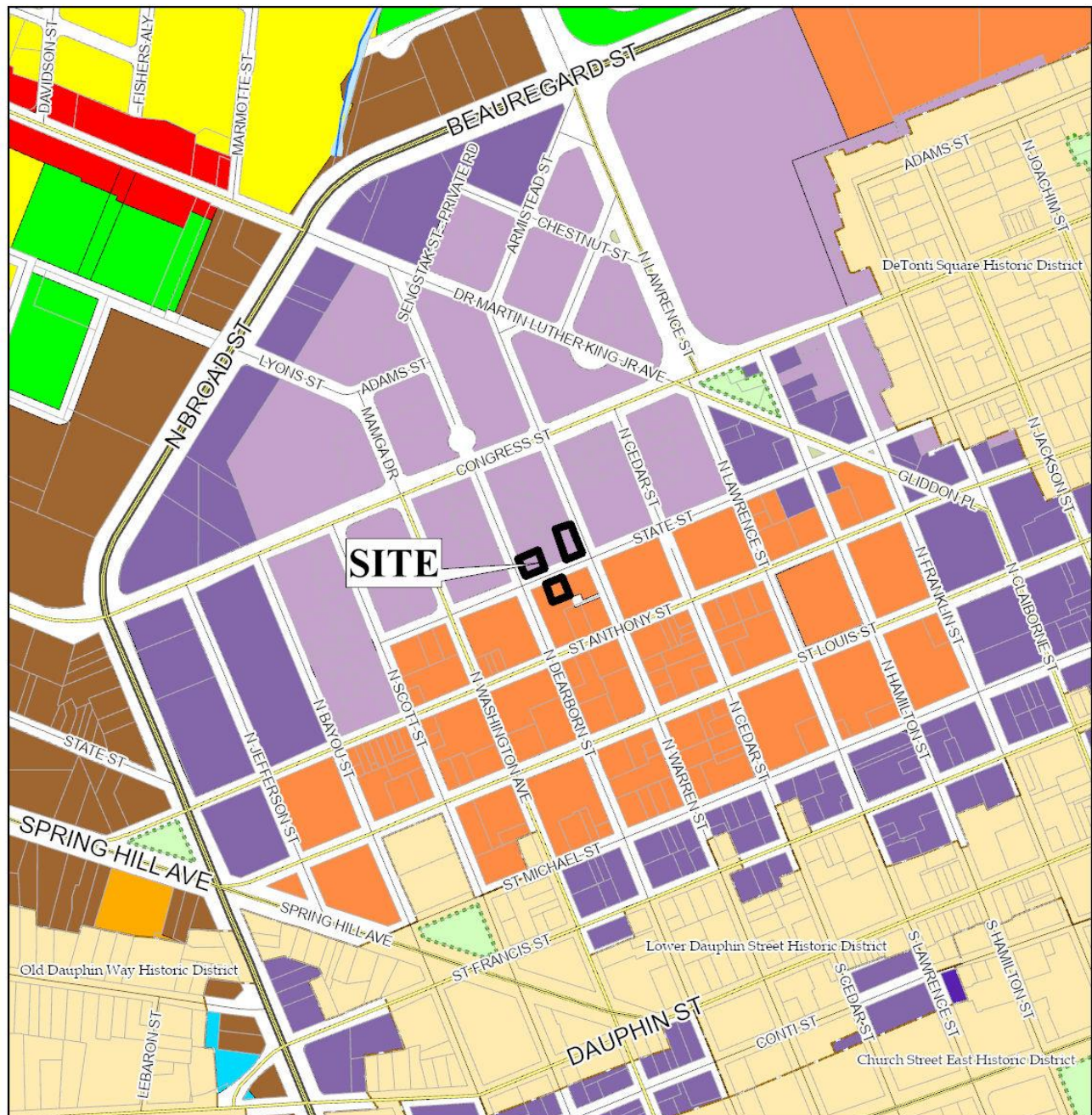
Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Considerations:

Based on the preceding, if the Planning Commission considers approving the Subdivision request, the following conditions should apply:

1. Retention of the existing right-of-way along all street frontages;
2. Retention of the 12-foot maximum setback along all street frontages for Lots 1-5;
3. Depiction of the 10-foot maximum setback along all street frontages for Lots 6 & 7;
4. Retention of the lot sizes in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
5. Retention of the note identifying North Warren Street as the primary frontage for proposed Lot 3;
6. Retention of the note identifying State Street is to be the primary frontage for proposed Lot 4;
7. Placement of a note stating that Lots 3 & 4 are allowed curb cuts from their secondary frontages;
8. Compliance with all Engineering comments noted in this staff report;
9. Placement of a note on the Final Plat stating all Traffic Engineering comments noted in this staff report;
10. Compliance with all Urban Forestry comments noted in this staff report;
11. Compliance with all Fire Department comments noted in this staff report; and
12. Completion of the Subdivision process prior to the application for permits.

LOCATOR ZONING MAP



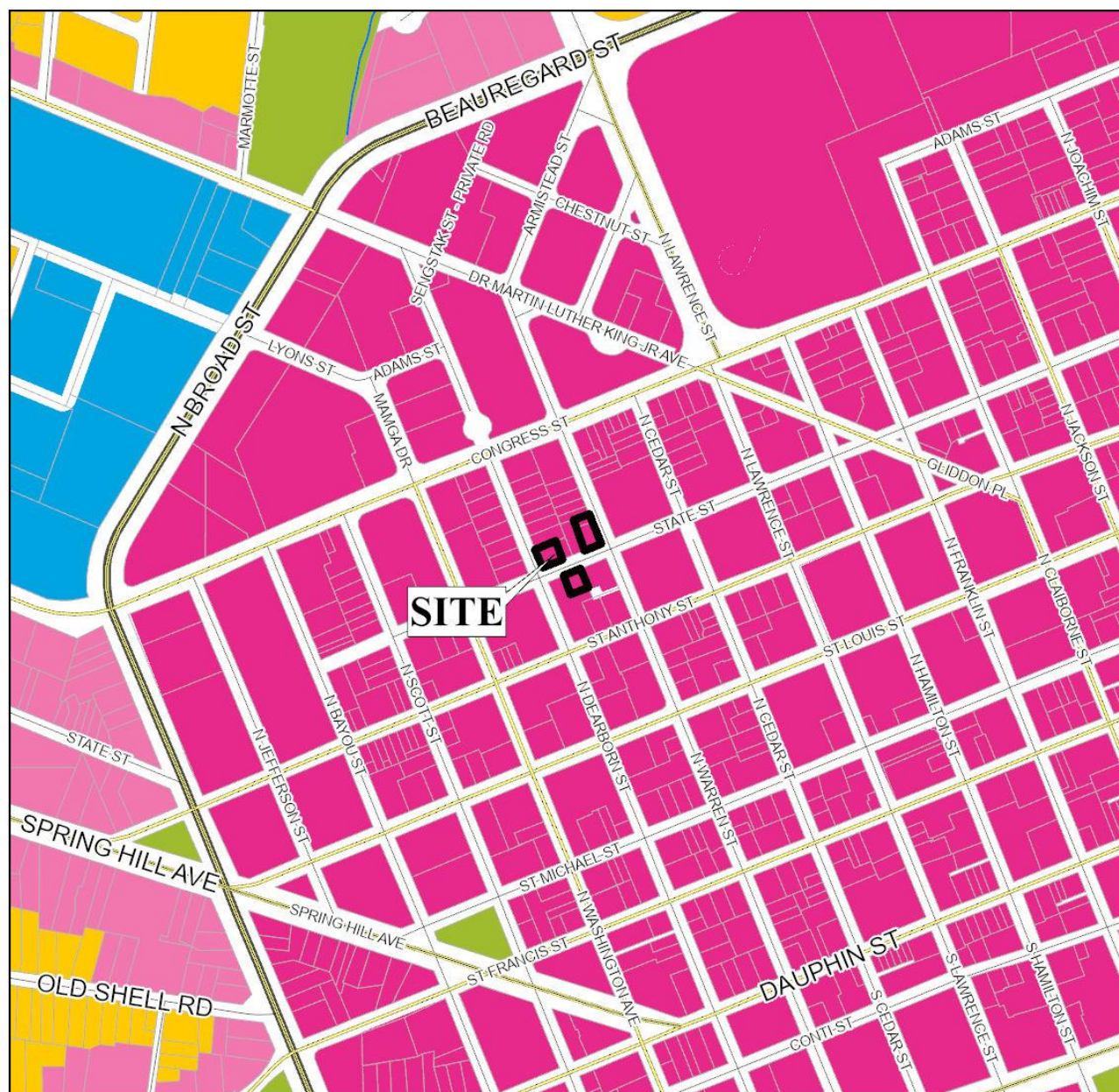
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APPLICANT Carroll Elks Subdivision

REQUEST _____ Subdivision _____



FLUM LOCATOR MAP



APPLICATION NUMBER 8 DATE March 20, 2025

APPLICANT Carroll Elks Subdivision

REQUEST _____ Subdivision _____

- Low Density Residential
 Neighborhood Center - Traditional
 Light Industry
 Water Dependent
- Mixed Density Residential
 Neighborhood Center - Suburban
 Heavy Industry
- Downtown
 Traditional Corridor
 Institutional
- District Center
 Mixed Commercial Corridor
 Parks, Open Space



CARROLL ELKS SUBDIVISION

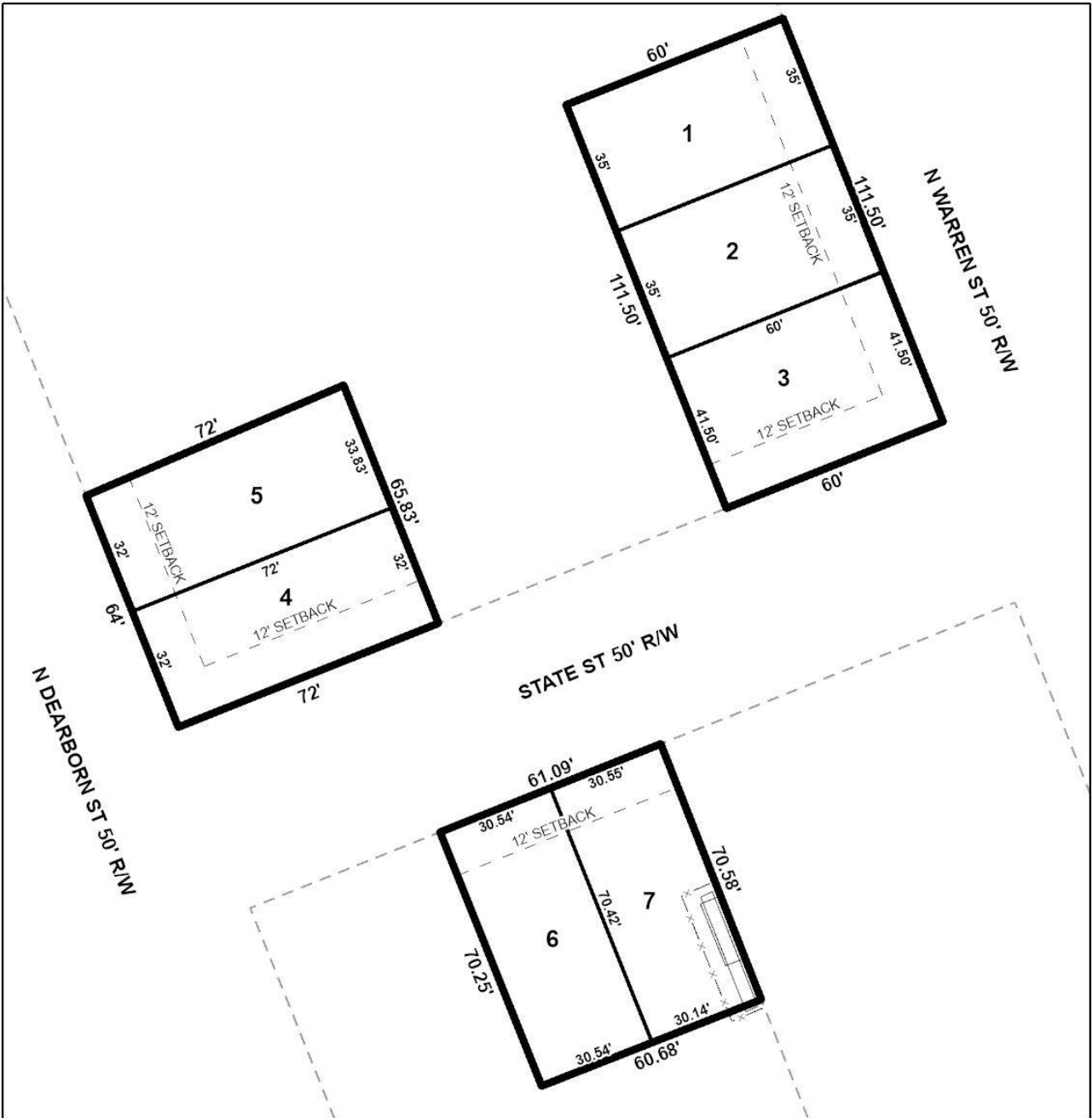


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R-A	R-3	B-1	B-2	B-5	ML	I-2	OPEN	T-3	T-5.2
R-1	R-B	T-B	B-3	CW	MH	PD	SD	T-4	T-6
R-2	H-B	LB-2	B-4	MM	I-1	MUN	SD-WH	T-5.1	



DETAIL SITE PLAN



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APPLICANT Carroll Elks Subdivision

REQUEST Subdivision



ZONING DISTRICT CORRESPONDENCE MATRIX													
		LOW DENSITY RESIDENTIAL (LDR)	MIXED DENSITY RESIDENTIAL (MXDR)	DOWNTOWN (DT)	DISTRICT CENTER (DC)	NEIGHBORHOOD CENTER - TRADITIONAL (NC-T)	NEIGHBORHOOD CENTER - SUBURBAN (NC-S)	TRADITIONAL CORRIDOR (TC)	MIXED COMMERCIAL CORRIDOR (MCC)	LIGHT INDUSTRIAL (LI)	HEAVY INDUSTRY (HI)	INSTITUTIONAL LAND USE (INS)	PARKS & OPEN SPACE (POS)
RESIDENTIAL - AG	R-A												
ONE-FAMILY RESIDENCE	R-1	■				■		■					□
TWO-FAMILY RESIDENCE	R-2	■				■		■					□
MULTIPLE-FAMILY	R-3	○	■			■	■						□
RESIDENTIAL-BUSINESS	R-B		○			■		■					□
TRANSITIONAL-BUSINESS	T-B		○		■	■	■	■					□
HISTORIC BUSINESS	H-B			■		■		■					□
VILLAGE CENTER	TCD					■	■						□
NEIGH. CENTER	TCD					■	■						□
NEIGH. GENERAL	TCD					■							□
DOWNTOWN DEV. DDD	T-6			■									□
DOWNTOWN DEV. DDD	T-5.1			■		■		□					□
DOWNTOWN DEV. DDD	T-5.2			■		■							□
DOWNTOWN DEV. DDD	T-4			■		■		□					□
DOWNTOWN DEV. DDD	T-3			■		■							□
DOWNTOWN DEV. DDD	SD-WH									○	○		□
DOWNTOWN DEV. DD	SD	○	○	○	○	○	○	○		○	○		□
BUFFER BUSINESS	B-1		□			□	■	■	■				□
NEIGH. BUSINESS	B-2		○			□	■	■	■				□
LIMITED BUSINESS	LB-2		○			□	■	■	■				□
COMMUNITY BUSINESS	B-3				■				■			○	□
GEN. BUSINESS	B-4			■					■			○	□
OFFICE-DISTRIBUTION	B-5								■	■			□
LIGHT INDUSTRY	I-1									■			□
HEAVY INDUSTRY	I-2										■		□

Zoning District Correspondence Matrix

- Directly Related
- Elements of the zoning category are related to the future LU category, but with qualifications (such as a development plan with conditions)
- Land use category is appropriate, but the district does not directly implement the category (e.g., open space in an industrial district)



DOWNTOWN (DT)

Downtown is called out as a separate land use designation due to its distinct role, layout and fabric.

As a land use district, Downtown is the ultimate mixed-use environment. Land development and redevelopment will emphasize variety, mixed uses, and unity of form within buildings or complexes.

As the City's and region's center for commercial and service employment, Downtown supports intense development and a dynamic combination of uses: specialty and regional retail shopping and offices; business support services; urban housing at higher densities (starting at 10 du/ac); civic, educational and cultural destinations; entertainment options; and other public amenities including active and passive park space. The successful integration of a mix of housing types and densities will be critical to achieve a vibrant, 24/7, active Downtown Mobile.

Development in the DT district will focus on new, redeveloped and adaptively reused buildings that frame attractive, human-scaled streetscapes, memorable public spaces, bicycle and pedestrian-friendly streets and convenient transit access to jobs, housing and entertainment. Accordingly, certain areas of Downtown will be more intensively developed to facilitate that pedestrian orientation.