



Agenda Item # 6 SUB-003062-2024

View additional details on this proposal and all application materials using the following link:

[Applicant Materials for Consideration](#)

DETAILS

Location:

69 North Monterey Street

Subdivision Name:

Alford Place Subdivision

Applicant / Agent:

Rob & Debbie Hayes

Property Owner:

Rob & Debbie Hayes

Current Zoning:

R-1, Single-Family Residential Urban District

Future Land Use:

Mixed Density Residential

Applicable Codes, Policies, and Plans:

- Unified Development Code
- Subdivision Regulations
- Map for Mobile Comprehensive Plan

Proposal:

- Subdivision approval to create two (2) legal lots of record from two (2) metes-and-bounds parcels.

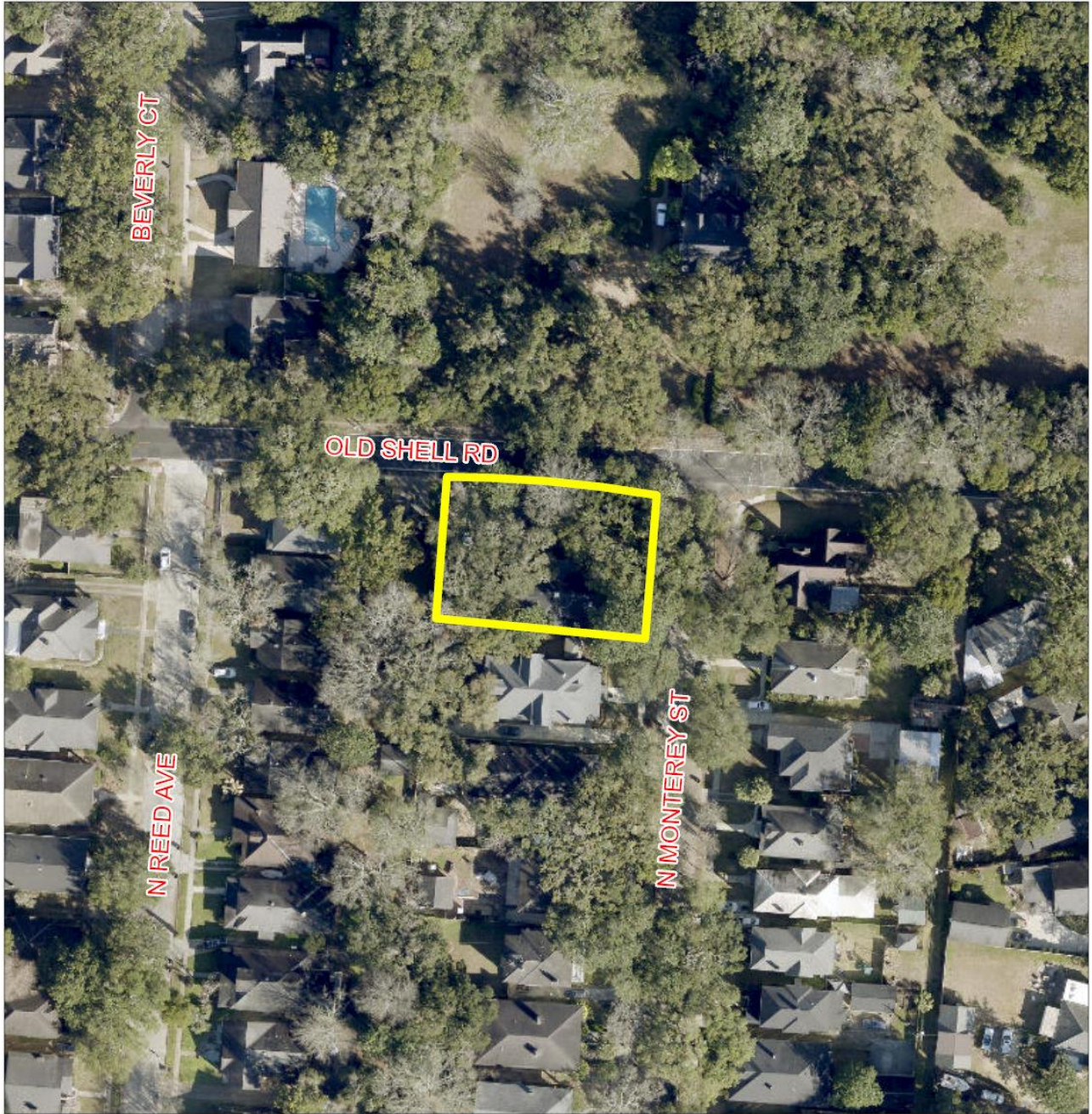
Commission Considerations:

- Subdivision proposal with nine (9) conditions.

Report Contents:

| | Page |
|----------------------------------|-------------|
| Context Map | 2 |
| Site History | 3 |
| Staff Comments | 3 |
| Subdivision Considerations | 5 |
| Exhibits | 6 |

ALFORD PLACE SUBDIVISION



APPLICATION NUMBER 6 DATE September 19, 2024



NTS

SITE HISTORY

The site was originally part of the Hall Place Subdivision, the plat for which was recorded in 1907. Since that time, development of the area has resulted in the shifting of lot lines without approval from the Planning Commission, such that the designs of many of the lots are no longer compatible with the recorded subdivision plat. This includes the subject site, which now has a metes-and-bounds legal description.

At its meeting in July 1977 the Board of Zoning Adjustment denied a Use and Side Yard Setback Variance request to allow a garage apartment and an eight (8)-foot brick wall. It should be noted, however, that in 2001 the site received administrative approval of a Legal Non-Conforming Use Review to allow a dwelling and garage apartment with two (2) units on a single parcel within an R-1 zoned district.

There have been no other Planning Commission or Board of Zoning Adjustment applications associated with the site.

STAFF COMMENTS

Engineering Comments:

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Review and revise the written legal description to include the two (2) interior angles on the west side of LOT 2.
- C. Dedicate a corner radius (15' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of LOT 1, and list the amount of dedicated acreage.
- D. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 28 - #73) LOTS 1 and 2 will share the historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control) as follows: LOT 1 – 2,600 sf and LOT 2 – NONE.
- E. Add a note that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- F. Add a note that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- G. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- H. Add a note that all existing and proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- I. Add a note that all easements shall remain in effect until vacated through the proper Vacation process.
- J. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.

Traffic Engineering Comments:

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments:

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

Fire Department Comments:

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2021 International Fire Code). Fire apparatus access is required to be within 150' of all non-sprinklered commercial buildings and within 300' of all sprinklered commercial buildings. Fire water supply for all commercial buildings will be required to meet the guidance of Appendices B and C of the 2021 International Fire Code. The minimum requirement for fire hydrants is to be within 400' of non-sprinklered commercial buildings, within 600' of sprinklered commercial buildings, and within 100' of fire department connections (FDC) for both standpipes and sprinkler systems.

Planning Comments:

The purpose of this application is to create two (2) legal lots of record from two (2) metes-and-bounds parcels. The site is served by public water and sanitary sewer services.

As proposed, Lot 1 is a corner lot with frontage along Old Shell Road, a Major Collector street requiring a 50-foot right-of-way width per the recently adopted 2024 Major Street Plan; and North Monterey Street, a minor street with curb and gutter. Lot 2 is also a corner lot with frontage along Old Shell Road and an existing public alleyway with a recorded 10-foot right-of-way width. Per Section 6.B.5. of the Subdivision Regulations new public alleys shall not be considered and as such, the existing alley is not required any further dedication. A 60-foot wide right-of-way is depicted along North Monterey Street making additional dedication unnecessary, but a varying right-of-way is noted along Old Shell Road at this location. If approved, the Final Plat should be revised to depict either a compliant right-of-way width, or dedication sufficient to provide one, unless a waiver of Section 6.8.2. is approved.

The Subdivision Regulations require at least a 25-foot corner radius where North Monterey Street and Old Shell Road intersect. The preliminary plat does not illustrate the required corner radius, and as such, if approved, the Final Plat should be revised to illustrate dedication sufficient to provide a minimum 25-foot corner radius. It should be noted, however, that if dedication is required portion(s) of an existing brick wall would encroach into City right-of-way and would therefore be required to be demolished. If the Planning Commission does not require dedication, a waiver of Section 6.C.6 is necessary for approval.

The lots, as proposed, meet the minimum size requirements for lots served by public water and sanitary sewer in an R-1 Urban district. Additionally, the preliminary plat appropriately labels the lot sizes in both square feet and acres, which, if approved, should be retained on the Final Plat; or placement of a table on the Final Plat with the same information will suffice.

The preliminary plat illustrates both Lot 1 and Lot 2 as flag-shaped lots which, per Section 6.C.9(a) of the Subdivision Regulations, are generally discouraged. It should be noted that while there are numerous lots with

substandard widths and sizes, there do not appear to be any flag-shaped lots in the immediate vicinity. As such, if approved, a waiver of 6.C.9(a) of the Subdivision Regulations will be necessary.

No minimum building setback line along Old Shell Road or North Monterey Street is illustrated on the preliminary plat. As the site is within an R-1, Single-Family Residential Urban District, the Unified Development Code (UDC) allows a five (5)-foot front building setback. The site is also within the Old Dauphin Way Historic District, and Section 64-14-1.C. of the UDC pertaining to historic districts states “The Front Yard shall be no greater or lesser than the Setback of those Structures on the same side of the Street within 150 feet of both sides (exclusive of right-of-way) of the proposed building site”. Therefore, a note should be placed on the Final Plat, if approved, stating that the front yard building setback for Lot 1 and Lot 2 shall be in compliance with the setback provisions of the Historic District Overlay of Section 64-14- 1.C. of the Unified Development Code.

SUBDIVISION CONSIDERATIONS

Standards of Review:

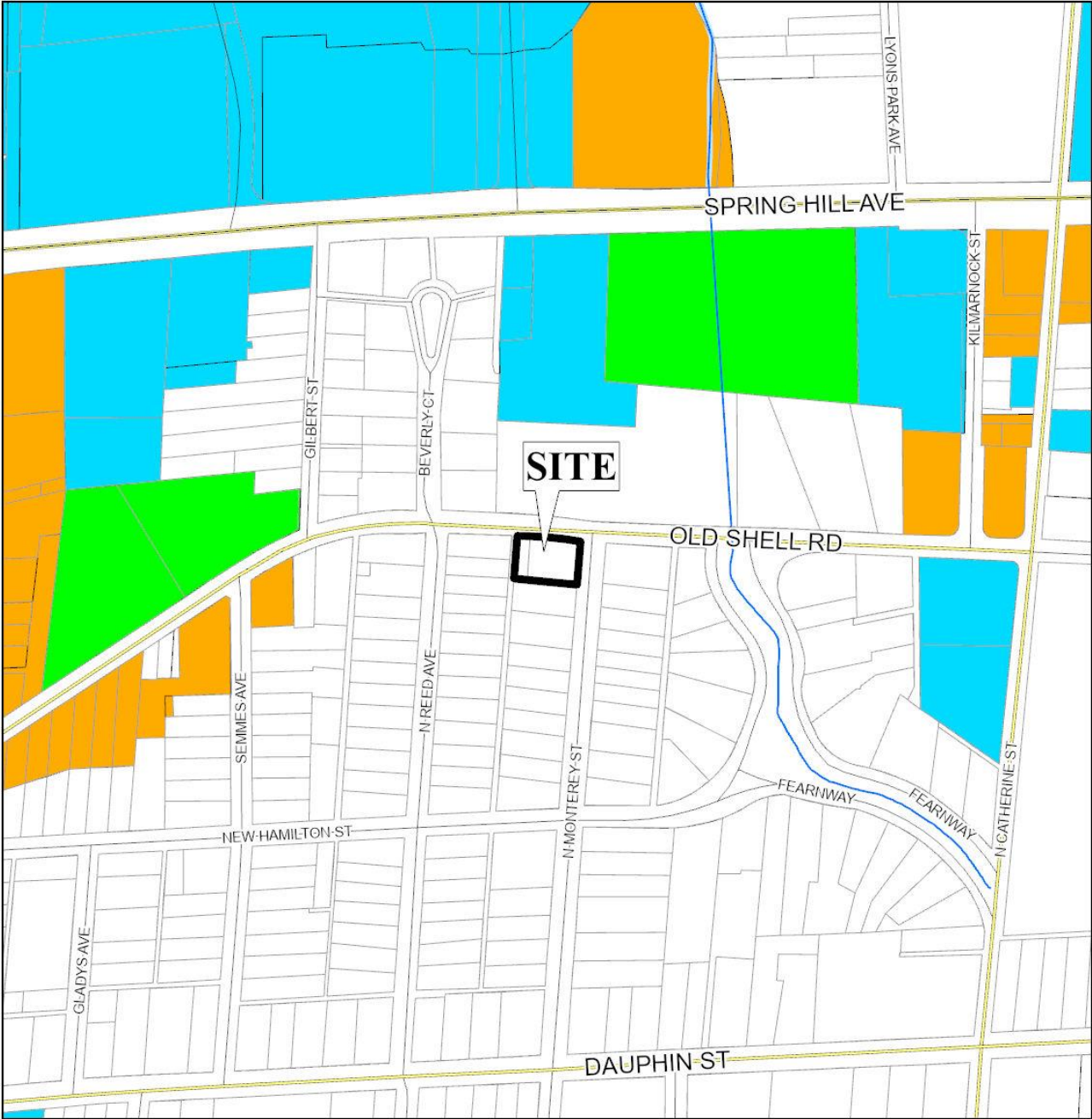
Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

Considerations:

Based on the preceding, and with waivers from Section 6.C.6 (for the corner radius) and Section 6.C.9(a) (for the flag-shaped lots) of the Subdivision Regulations, if the Planning Commission considers approving the Subdivision request, the following conditions could apply:

1. Retention of the lot sizes in both square feet and acres; or placement of a table on the Final Plat with the same information;
2. Retention of the right-of-way width for North Monterey Street as depicted on the preliminary plat;
3. Revision of the Final Plat to illustrate a minimum 50-foot right-of-way for Old Shell Road and dedication sufficient to provide 25 feet from the center line, or waiver of Section 6.B.2. of the Subdivision Regulations;
4. Revision of the Final Plat to illustrate a 25-foot corner radius for Lot 1 where Old Shell Road and North Monterey Street intersect, or approval of a waiver from Section 6.C.6 of the Subdivision Regulations;
5. Provision of a note on the Final Plat stating that the front yard building setback for Lot 1 and Lot 2 shall be in compliance with the setback provisions of the Historic District Overlay of Section 64-14- 1.C. of the Unified Development Code;
6. Compliance with all Engineering comments noted in this staff report;
7. Placement of a note on the Final Plat stating the Traffic Engineering comments noted in this staff report;
8. Compliance with all Urban Forestry comments noted in this staff report; and
9. Compliance with all Fire Department comments noted in this staff report.

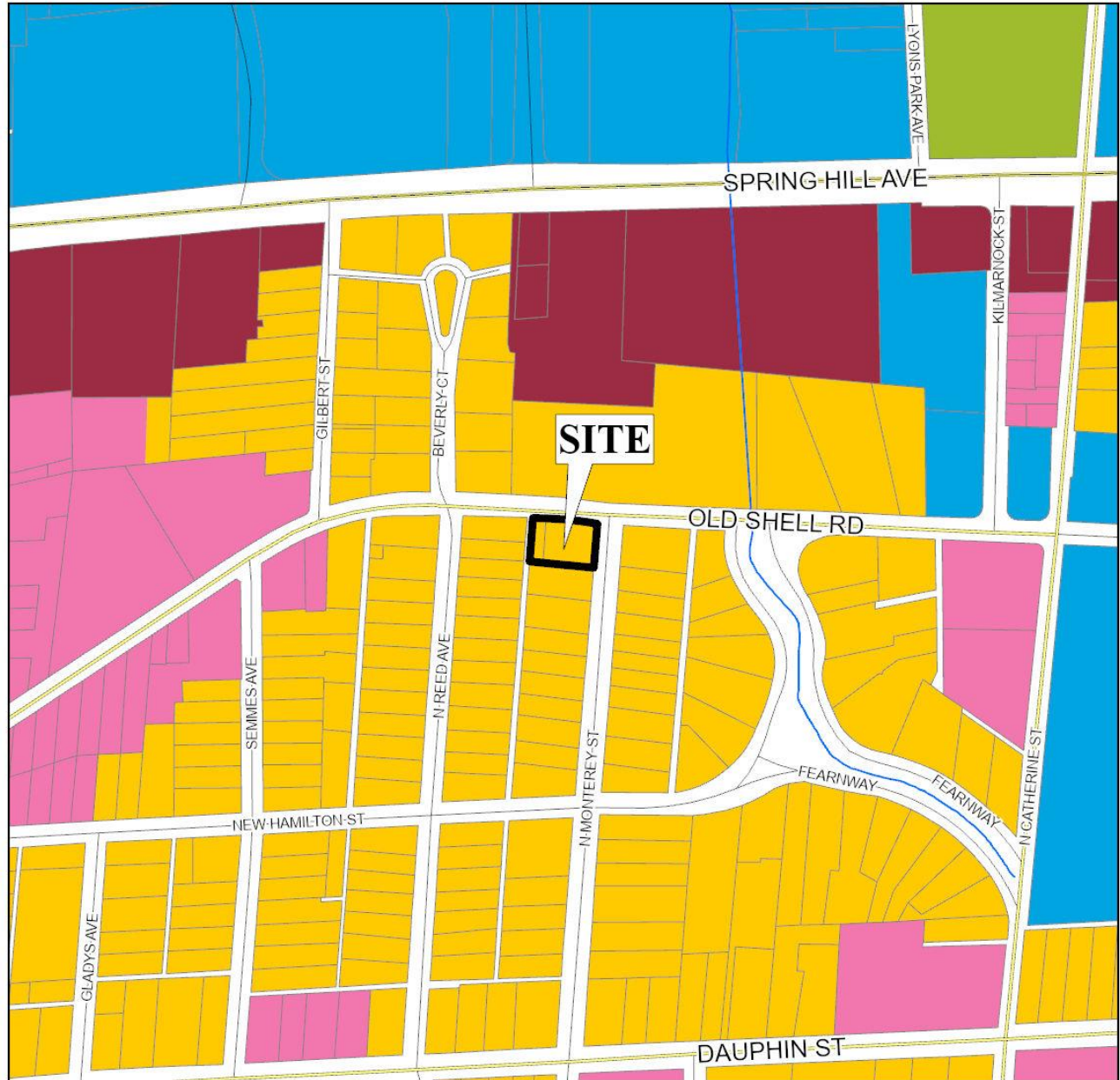
LOCATOR ZONING MAP



| | | | |
|--------------------|--------------------------|------|--------------------|
| APPLICATION NUMBER | 6 | DATE | September 19, 2024 |
| APPLICANT | Alford Place Subdivision | | |
| REQUEST | Subdivision | | |



FLUM LOCATOR MAP



APPLICATION NUMBER 6 DATE September 19, 2024

APPLICANT Alford Place Subdivision

REQUEST Subdivision

- | | | | |
|---|---|--|---|
| ■ Low Density Residential | ■ Neighborhood Center - Traditional | ■ Downtown Waterfront | ■ Parks & Open Space |
| ■ Mixed Density Residential | ■ Neighborhood Center - Suburban | ■ Light Industry | ■ Water Dependent |
| ■ Downtown | ■ Traditional Corridor | ■ Heavy Industry | |
| ■ District Center | ■ Mixed Commercial Corridor | ■ Institutional | |



ALFORD PLACE SUBDIVISION

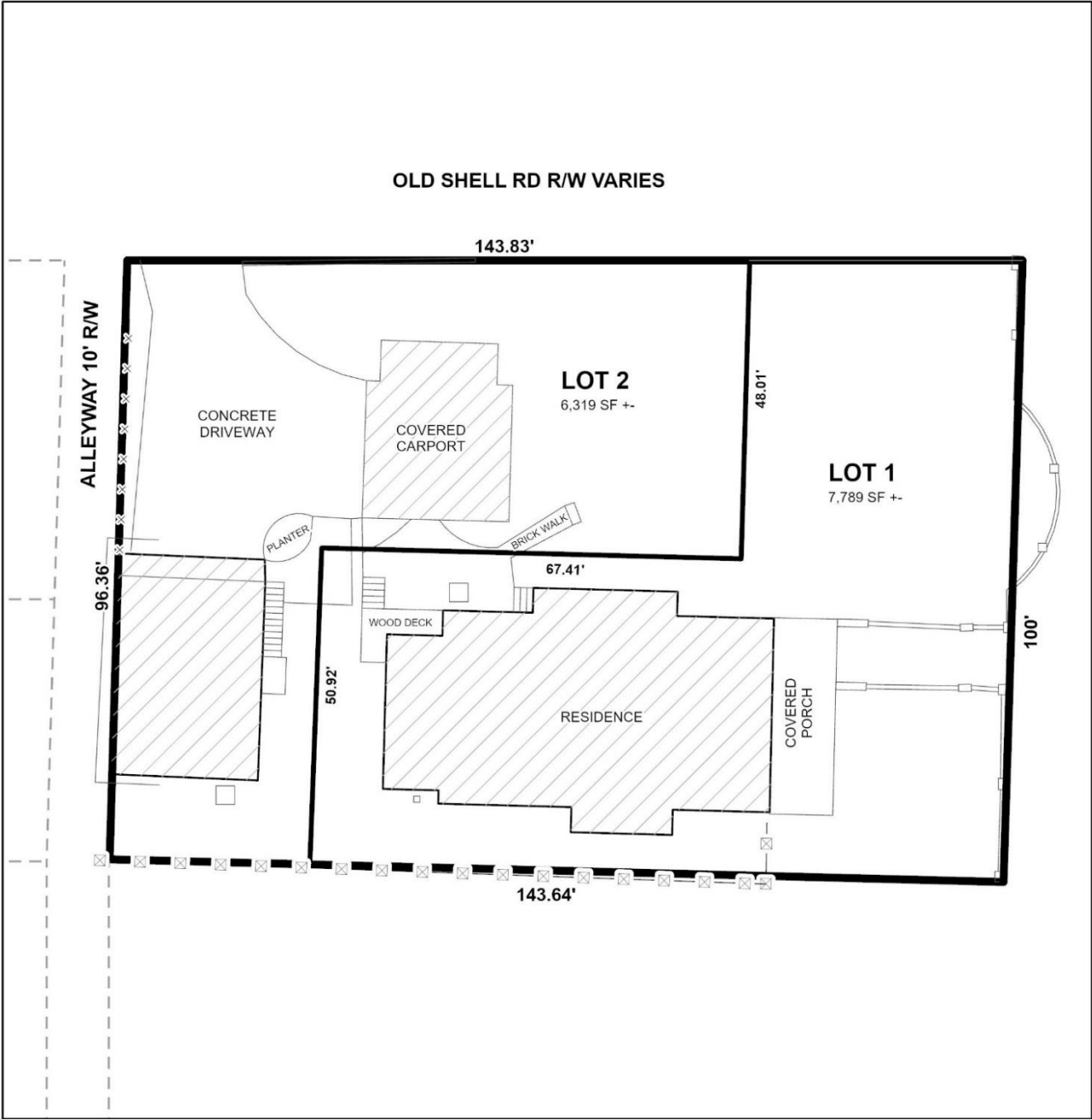


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| | | | | | | | | | |
|--|---|---|--|--|---|--|---|--|--|
| R-A | R-3 | B-1 | B-2 | B-5 | ML | I-2 | OPEN | T-3 | T-5.2 |
| R-1 | R-B | T-B | B-3 | CW | MH | PD | SD | T-4 | T-6 |
| R-2 | H-B | LB-2 | B-4 | MM | I-1 | MUN | SD-WH | T-5.1 | |



DETAIL SITE PLAN



| | | | |
|--------------------|--------------------------|------|--------------------|
| APPLICATION NUMBER | 6 | DATE | September 19, 2024 |
| APPLICANT | Alford Place Subdivision | | |
| REQUEST | Subdivision | | |



| ZONING DISTRICT CORRESPONDENCE MATRIX | | | LOW DENSITY RESIDENTIAL (LDR) | MIXED DENSITY RESIDENTIAL (MXDR) | DOWNTOWN (DT) | DISTRICT CENTER (DC) | NEIGHBORHOOD CENTER - TRADITIONAL (NC-T) | NEIGHBORHOOD CENTER - SUBURBAN (NC-S) | TRADITIONAL CORRIDOR (TC) | MIXED COMMERCIAL CORRIDOR (MCC) | LIGHT INDUSTRIAL (LI) | HEAVY INDUSTRY (HI) | INSTITUTIONAL LAND USE (INS) | PARKS & OPEN SPACE (POS) | DOWNTOWN WATERFRONT (DW) | WATER DEPENDENT USES (WDWU) |
|---------------------------------------|-------|---|-------------------------------|----------------------------------|---------------|----------------------|--|---------------------------------------|---------------------------|---------------------------------|-----------------------|---------------------|------------------------------|--------------------------|--------------------------|-----------------------------|
| RESIDENTIAL - AG | R-A | | | | | | | | | | | | | | | |
| ONE-FAMILY RESIDENCE | R-1 | ■ | | | | ■ | | ■ | | | | | | □ | | |
| TWO-FAMILY RESIDENCE | R-2 | ■ | | | | ■ | | ■ | | | | | | □ | ○ | |
| MULTIPLE-FAMILY | R-3 | ○ | ■ | | | ■ | ■ | | | | | | | □ | ○ | |
| RESIDENTIAL-BUSINESS | R-B | | ○ | | | ■ | | ■ | | | | | | □ | ○ | |
| TRANSITIONAL-BUSINESS | T-B | | ○ | | ■ | ■ | ■ | ■ | | | | | | □ | | |
| HISTORIC BUSINESS | H-B | | | ■ | | ■ | | ■ | | | | | | □ | | |
| VILLAGE CENTER | TCD | | | | | ■ | ■ | | | | | | | □ | | |
| NEIGH. CENTER | TCD | | | | | ■ | ■ | | | | | | | □ | | |
| NEIGH. GENERAL | TCD | | | | | ■ | | | | | | | | □ | | |
| DOWNTOWN DEV. DDD | T-6 | | | ■ | | | | | | | | | | □ | | |
| DOWNTOWN DEV. DDD | T-5.1 | | | ■ | | ■ | | | □ | | | | | □ | | |
| DOWNTOWN DEV. DDD | T-5.2 | | | ■ | | ■ | | | | | | | | □ | | |
| DOWNTOWN DEV. DDD | T-4 | | | ■ | | ■ | | | □ | | | | | □ | | |
| DOWNTOWN DEV. DDD | T-3 | | | ■ | | ■ | | | | | | | | □ | | |
| DOWNTOWN DEV. DDD | SD-WH | | | | | | | | | | ○ | ○ | | □ | | |
| DOWNTOWN DEV. DD | SD | ○ | ○ | ○ | ○ | ○ | ○ | ○ | | | ○ | ○ | | □ | | |
| BUFFER BUSINESS | B-1 | | □ | | | □ | ■ | ■ | ■ | | | | | □ | ○ | |
| NEIGH. BUSINESS | B-2 | | ○ | | | □ | ■ | ■ | ■ | | | | | □ | ○ | |
| LIMITED BUSINESS | LB-2 | | ○ | | | □ | ■ | ■ | ■ | | | | | □ | ○ | |
| COMMUNITY BUSINESS | B-3 | | | | ■ | | | | ■ | | | | ○ | □ | ○ | |
| GEN. BUSINESS | B-4 | | | ■ | | | | | ■ | | | | ○ | □ | ○ | |
| OFFICE-DISTRIBUTION | B-5 | | | | | | | | ■ | ■ | | | | □ | □ | |
| LIGHT INDUSTRY | I-1 | | | | | | | | | | ■ | | | □ | □ | □ |
| HEAVY INDUSTRY | I-2 | | | | | | | | | | | ■ | | □ | | □ |

Zoning District Correspondence Matrix

- Directly Related
- Elements of the zoning category are related to the future LU category, but with qualifications (such as a development plan with conditions)
- Land use category is appropriate, but the district does not directly implement the category (e.g., open space in an industrial district)

MIXED DENSITY RESIDENTIAL (MxDR)

This designation applies mostly to residential areas located between Downtown and the Beltline, where the predominant character is that of a traditional neighborhood laid out on an urban street grid.

These residential areas should offer a mix of single family homes, townhouses, 2- to 4- residential unit buildings, accessory dwellings, and low- and mid-rise multifamily apartment buildings. The density varies between 6 and 10 du/ac, depending on the mix, types, and locations of the housing as specified by zoning.

Like LDR areas, MxDR areas may incorporate compatibly scaled and sited complementary uses such as neighborhood retail and office uses, schools, playgrounds and parks, and churches and other amenities that create a complete neighborhood fabric and provide safe and convenient access to daily necessities.