



Agenda Item # 5 SUB-003019-2024

View additional details on this proposal and all application materials using the following link:

[Applicant Materials for Consideration](#)

DETAILS

Location:

2410 McVay Drive North

Subdivision Name:

Resubdivision of Lot 3 and a portion of Lot 2, Block C,
Greenview Heights Subdivision

Applicant / Agent:

Sebastian D. Dixon

Property Owner:

Sebastian D. Dixon

Current Zoning:

R-1, Single-Family Residential Suburban District

Future Land Use:

Low Density Residential

Applicable Codes, Policies, and Plans:

- Unified Development Code
- Subdivision Regulations
- Map for Mobile Comprehensive Plan

Proposal:

- Subdivision approval to create one (1) legal lot of record from one (1) metes-and-bounds parcel.

Commission Considerations:

- Subdivision proposal with nine (9) conditions.

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**RESUBDIVISION OF LOT 3 AND A PORTION OF LOT 2,
BLOCK C, GREENVIEW HEIGHTS SUBDIVISION**



APPLICATION NUMBER 5 DATE August 15, 2024



NTS

SITE HISTORY

The site was originally part of Block C of the Greenview Heights Subdivision, the plat for which was recorded in 1928. Since that time, development of the area has resulted in the shifting of lot lines without approval from the Planning Commission, such that the designs of many of the lots are no longer compatible with the recorded subdivision plat. This includes the subject site, which now has a metes-and-bounds legal description. The applicant plans to redevelop the property with a new single-family dwelling, thus requiring full compliance with current regulations, including the Subdivision Regulations.

There have been no other Planning Commission or Board of Zoning Adjustment applications associated with the site.

STAFF COMMENTS

Engineering Comments:

FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Dedicate the corner radius (15' minimum or as approved by the City Engineer and Traffic Engineer) at the southwest corner of LOT 1 to the City of Mobile, and list the amount of dedicated acreage (sf and acres).
- C. Add a signature block for the Owner.
- D. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 26 - #84) LOT 1 will receive the 1,900-sf historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). LOT 1 can have up to 5,900 sf of impervious area without providing stormwater detention.
- E. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.

Traffic Engineering Comments:

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments:

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

Fire Department Comments:

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2021 International Fire Code). Fire apparatus access is required to be within 150' of all non-sprinklered commercial buildings and within 300' of all sprinklered commercial buildings. Fire water supply for all commercial buildings will be required to meet the guidance of Appendices B and C of the 2021 International Fire Code. The minimum requirement for fire hydrants is to be within 400' of non-sprinkled commercial buildings, within 600' of sprinkled commercial buildings, and within 100' of fire department connections (FDC) for both standpipes and sprinkler systems.

Planning Comments:

The purpose of this application is to create one (1) legal lot of record from one (1) metes-and-bounds parcel. The site is served by public water and sanitary sewer services.

The site has frontage on McVay Drive North, a Minor Arterial street with an existing 50-foot right-of-way, and Odette Avenue, a minor street with curb and gutter requiring a 50-foot right-of-way. The preliminary plat depicts sufficient right-of-way widths along both streets making additional dedication unnecessary.

McVay Drive North is incorrectly labeled as McVay Drive. If approved, the plat should be revised to correctly label McVay Drive North.

The proposed lot is a corner lot requiring a 25-foot corner radius at the intersection of McVay Drive North and Odette Avenue, per Section 6.C.6. of the Subdivision Regulations. If approved, the plat should be revised to depict dedication of a 25-foot corner radius unless the Planning Commission approves a waiver of Section 6.C.6.

The lot, as proposed, exceeds the minimum size requirements for lots served by public water and sanitary sewer in an R-1 Suburban district, and is appropriately labeled in square feet and acres on the preliminary plat. This information should be retained on the Final Plat, if approved, adjusted for any required dedication; or placement of a table on the Final Plat with the same information will suffice.

A 25-foot front yard setback is illustrated along McVay Drive North and Odette Avenue, in compliance with Section 6.C.8. of the Subdivision Regulations, and with Article 2, Section 64-2-5.E. of the UDC for lot in an R-1 Suburban District. This information should be retained on the Final Plat, if approved, adjusted for any required dedication.

SUBDIVISION CONSIDERATIONS

Standards of Review:

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

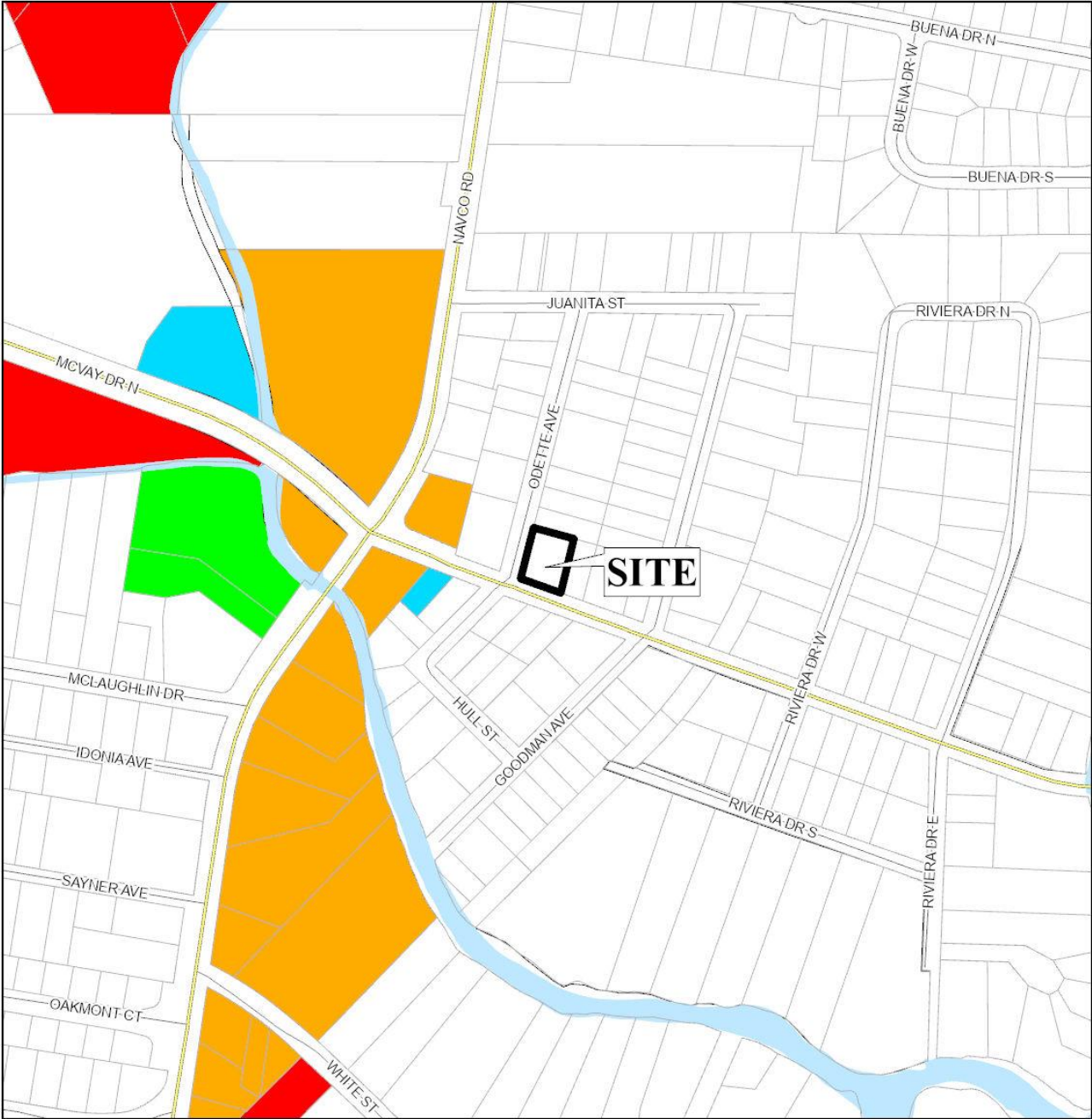
Considerations:


Based on the preceding, if the Subdivision request is considered for approval the following conditions should apply:

1. Retention of the 50-foot right-of-way widths for both McVay Drive North and Odette Avenue;

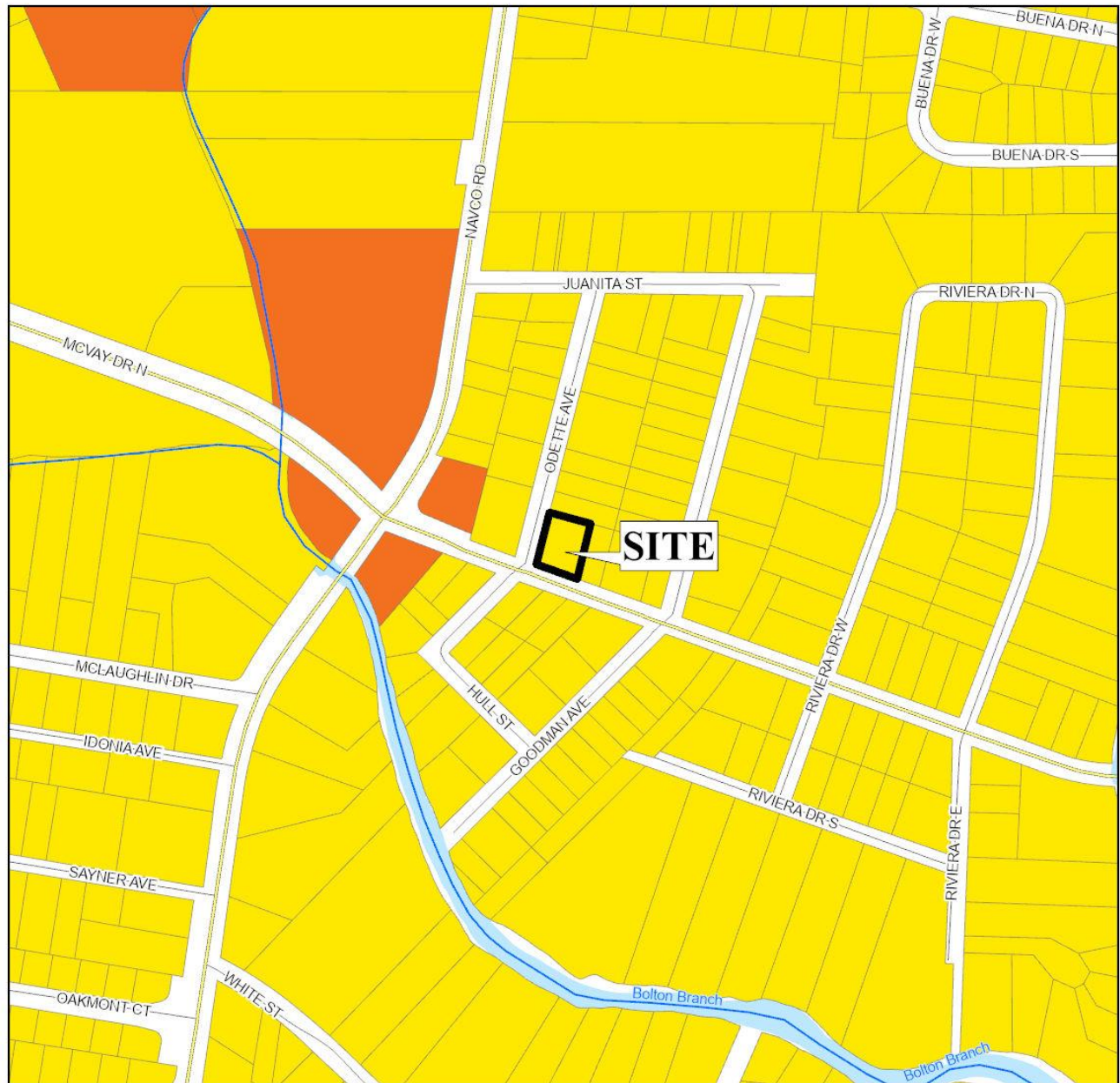
2. Revision of the plat to correctly label McVay Drive North;
3. Dedication of a 25-foot corner radius at the intersection of McVay Drive North and Odette Avenue, in compliance with Section 6.C.6. of the Subdivision Regulations;
4. Retention of the lot's size in both square feet and acres on the Final Plat, or provision of a table on the Final Plat with the same information, adjusted for any required dedication;
5. Retention of the 25-foot minimum front yard setback along McVay Drive North and Odette Avenue on the Final Plat, adjusted for any require dedication;
6. Compliance with all Engineering comments noted in this staff report;
7. Placement of a note on the Final Plat stating the Traffic Engineering comments noted in this staff report;
8. Compliance with all Urban Forestry comments noted in this staff report; and
9. Compliance with all Fire Department comments noted in this staff report.

LOCATOR ZONING MAP



APPLICATION NUMBER <u> 5 </u> DATE <u> August 15, 2024 </u>	 NTS
APPLICANT <u> Resubdivision of Lot 3 and a portion of Lot 2, Block C, Greenview Heights Subdivision </u>	
REQUEST <u> Subdivision </u>	

FLUM LOCATOR MAP



APPLICATION NUMBER 5 DATE August 15, 2024

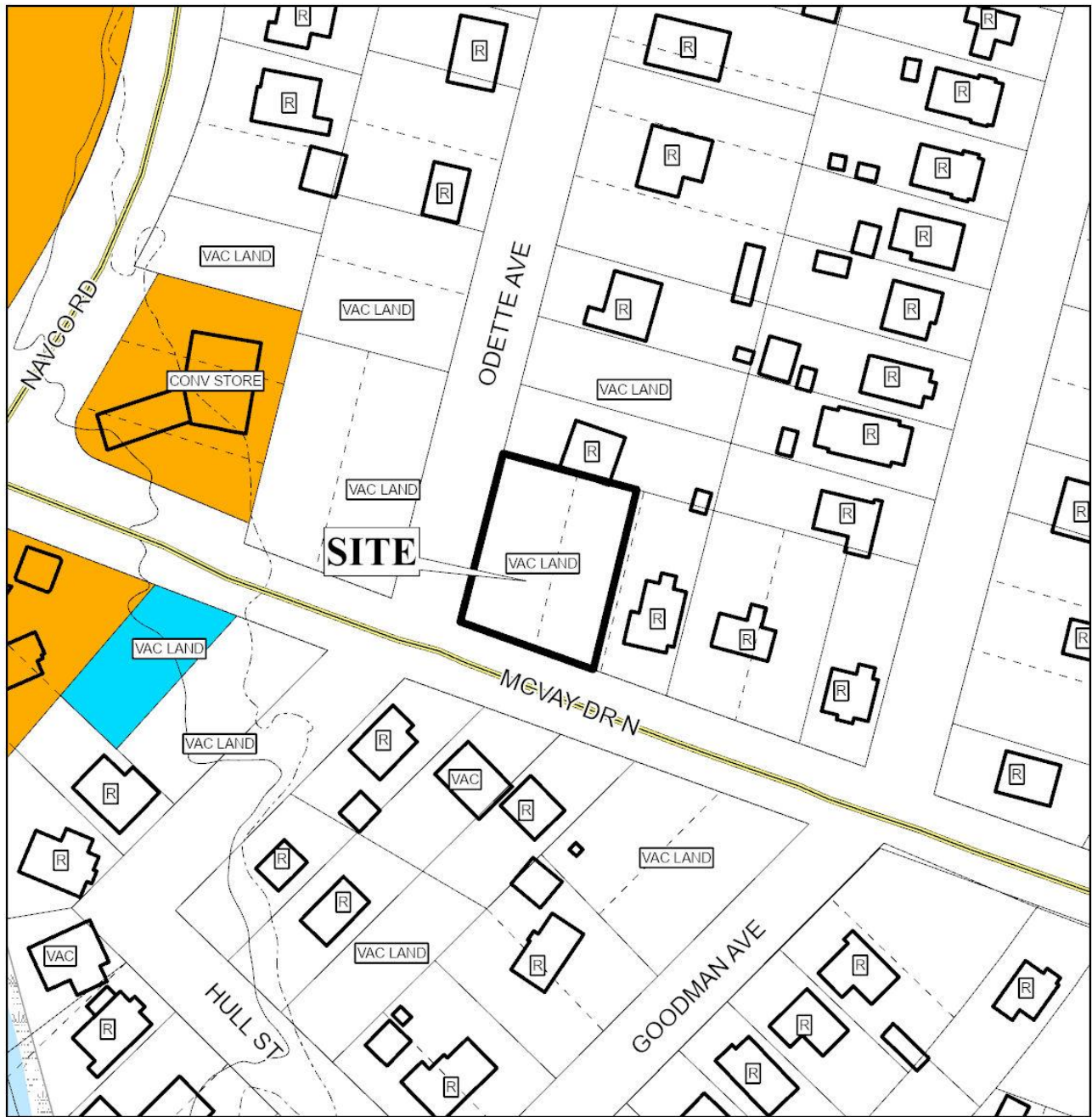
APPLICANT Resubdivision of Lot 3 and a portion of Lot 2, Block C, Greenview Heights Subdivision

REQUEST Subdivision

- | | | | |
|---|--|---|--|
| Low Density Residential | Neighborhood Center - Traditional | Downtown Waterfront | Parks & Open Space |
| Mixed Density Residential | Neighborhood Center - Suburban | Light Industry | Water Dependent |
| Downtown | Traditional Corridor | Heavy Industry | |
| District Center | Mixed Commercial Corridor | Institutional | |



RESUBDIVISION OF LOT 3 AND A PORTION OF LOT 2, BLOCK C, GREENVIEW HEIGHTS SUBDIVISION



APPLICATION NUMBER 5 DATE August 15, 2024

 R-A	 R-3	 B-1	 B-2	 B-5	 ML	 I-2	 OPEN	 T-3	 T-5.2
 R-1	 R-B	 T-B	 B-3	 CW	 MH	 PD	 SD	 T-4	 T-6
 R-2	 H-B	 LB-2	 B-4	 MM	 I-1	 MUN	 SD-WH	 T-5.1	



DETAIL SITE PLAN



APPLICATION NUMBER	5	DATE	August 15, 2024
APPLICANT	Resubdivision of Lot 3 and a portion of Lot 2, Block C, Greenview Heights Subdivision		
REQUEST	Subdivision		



ZONING DISTRICT CORRESPONDENCE MATRIX		LOW DENSITY RESIDENTIAL (LDR)	MIXED DENSITY RESIDENTIAL (MXDR)	DOWNTOWN (DT)	DISTRICT CENTER (DC)	NEIGHBORHOOD CENTER - TRADITIONAL (NC-T)	NEIGHBORHOOD CENTER - SUBURBAN (NC-S)	TRADITIONAL CORRIDOR (TC)	MIXED COMMERCIAL CORRIDOR (MCC)	LIGHT INDUSTRIAL (LI)	HEAVY INDUSTRY (HI)	INSTITUTIONAL LAND USE (INS)	PARKS & OPEN SPACE (POS)	DOWNTOWN WATERFRONT (DW)	WATER DEPENDENT USES (WDWRU)
RESIDENTIAL - AG	R-A														
ONE-FAMILY RESIDENCE	R-1	■				■		■					□		
TWO-FAMILY RESIDENCE	R-2	■				■		■					□	○	
MULTIPLE-FAMILY	R-3	○	■			■	■						□	○	
RESIDENTIAL-BUSINESS	R-B		○			■		■					□	○	
TRANSITIONAL-BUSINESS	T-B		○		■	■	■	■					□		
HISTORIC BUSINESS	H-B			■		■		■					□		
VILLAGE CENTER	TCD					■	■						□		
NEIGH. CENTER	TCD					■	■						□		
NEIGH. GENERAL	TCD					■							□		
DOWNTOWN DEV. DDD	T-6			■									□		
DOWNTOWN DEV. DDD	T-5.1			■		■		□					□		
DOWNTOWN DEV. DDD	T-5.2			■		■							□		
DOWNTOWN DEV. DDD	T-4			■		■		□					□		
DOWNTOWN DEV. DDD	T-3			■		■							□		
DOWNTOWN DEV. DDD	SD-WH									○	○		□		
DOWNTOWN DEV. DD	SD	○	○	○	○	○	○	○		○	○		□		
BUFFER BUSINESS	B-1		□			□	■	■	■				□	○	
NEIGH. BUSINESS	B-2		○			□	■	■	■				□	○	
LIMITED BUSINESS	LB-2		○			□	■	■	■				□	○	
COMMUNITY BUSINESS	B-3				■				■			○	□	○	
GEN. BUSINESS	B-4			■					■			○	□	○	
OFFICE-DISTRIBUTION	B-5								■	■			□	□	
LIGHT INDUSTRY	I-1									■			□	□	□
HEAVY INDUSTRY	I-2										■		□		□

Zoning District Correspondence Matrix

- Directly Related
- Elements of the zoning category are related to the future LU category, but with qualifications (such as a development plan with conditions)
- Land use category is appropriate, but the district does not directly implement the category (e.g., open space in an industrial district)

Residential Land Use

LOW DENSITY RESIDENTIAL (LDR)

This designation applies to existing residential neighborhoods found mostly west of the Beltline or immediately adjacent to the east side of the Beltline.

The primary land use in the LDR districts is residential and the predominant housing type is the single-family housing unit, detached or semi-detached, typically placed within a street grid or a network of meandering suburban streets. The density in these districts ranges between 0 and 6 dwelling units per acre (du/ac).

These neighborhoods may also contain small-scale, low-rise multi-unit structures at appropriate locations, as well as complementary retail, parks and civic institutions such as schools, community centers, neighborhood playgrounds, and churches or other religious uses if those uses are designed and sited in a manner compatible with and connected to the surrounding context. The presence of individual ancillary uses should contribute to the fabric of a complete neighborhood, developed at a walkable, bikeable human scale.