

FIRST CHURCH SUBDIVISION

Engineering Comments: Need to provide a 25' radius to be dedicated to the City at the corner of Government St & Houston St. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 2 lot, 0.6 acre \pm subdivision. Parcel A is located at 1801 Government Street (Southwest corner of Government Street and Houston Street) and Parcel B is located on the East side of Houston Street, 215' \pm South of Government Street). The site is in both Council Districts 2 and 3. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from two existing metes and bounds parcels.

The proposed lot labeled "Parcel A", as depicted, meets the minimum size and frontage requirements as regulated by the Subdivision Regulations. The proposed lot labeled "Parcel B" meets the minimum size requirements; however, the lot only has 50 feet of right-of-way frontage. Given that this is an existing parcel, and that nearly all of the lots fronting Houston Street in the area have 50 feet of public right-of-way frontage, a waiver of Section V.D.2. of the Subdivision Regulations regarding public right-of-way frontage may be appropriate for Parcel B.

The lot area size is not depicted on the plat, as such the Final Plat, if approved, should be revised to depict the lot area size in square feet or a table provided with the same information.

Parcel A fronts Government Street to the North and Houston Street to the East, while Parcel B fronts Houston Street to the West. Both Government Street and Houston Street are planned major streets as shown on the Major Street Plan component of the Comprehensive Plan. The plan requires a right-of-way width of 100 feet for Government Street. The plan does not require any additional right-of-way for Houston Street in this area. The existing right-of-way width is depicted as 100 feet for Government Street and 50 feet for Houston Street. Additionally, Parcel

A is a corner lot, which does not have a sufficient curb radius. Section V.B.16. of the Subdivision Regulations requires curb radii of not less than 20 feet. As such, dedication sufficient to comply with this section should be required.

Government Street is a major street and a State Highway, and Houston Street is also a major street. As such, access management is a concern. Currently, Parcel A has an existing substandard curb cut to Government Street. A site plan submitted for a Board of Adjustment application indicates that this driveway will not lead to any parking area and will be substandard. Also, parking for the site is proposed to be off-site on Parcel B. Additionally, ALDOT has been limiting access from State Highways to right-in, right-out curb cuts. Given the existing curb cut and the nature of the proposed and existing development on the site, the site should be denied access to Government Street, and the existing curb cut removed, and the site should be limited to one curb cut to Houston Street. Parcel B also has an existing curb cut, and it should likewise be limited to one curb cut to Houston Street, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards.

It should also be noted that Parcel B fronts an open 15-foot wide public alley to the North. Based on site photographs, it appears that the alley has been used for access to the site. A note should be placed on the final plat denying Parcel B any access to the Alley.

The 25-foot minimum building setback line is depicted only on Parcel A along Government Street. The plat should be revised to indicate the 25-foot minimum building line along all public street frontages. It should be noted that Section 64-4.D.3. of the Zoning Ordinance allows a setback of 20 feet on corner building sites, and, given that the building on the site is currently only setback 16 feet, a waiver of Section V.D.9. of the Subdivision Regulations regarding the minimum building line may be appropriate for Parcel A, only along Houston Street, where a 20-foot minimum building line should be depicted on the Final Plat, if approved.

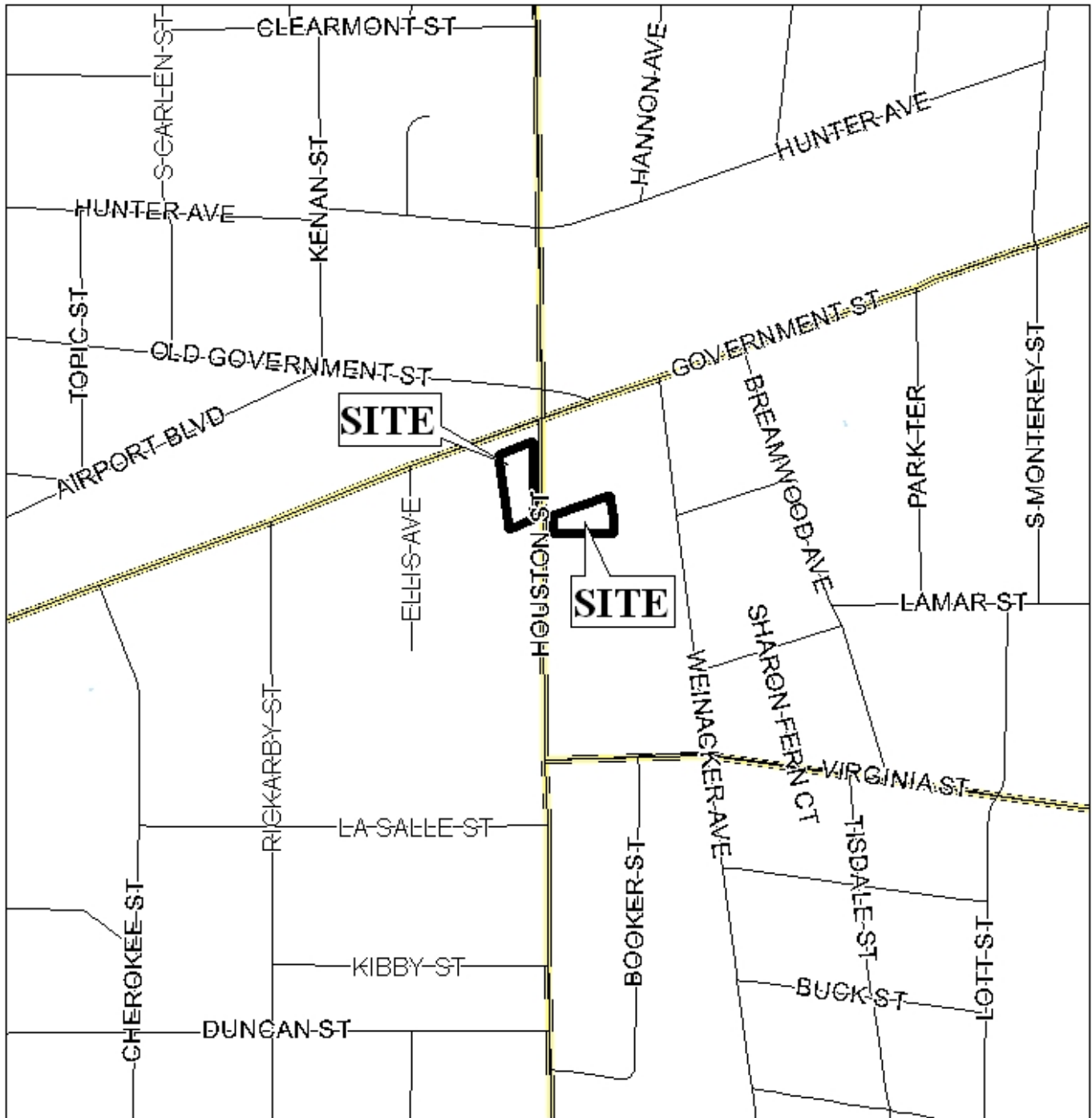
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, and with a waiver of Section V.D.2. of the Subdivision Regulations regarding public right-of-way frontage for Parcel B and a waiver of Section V.D.9. of the Subdivision Regulations regarding the minimum building line for Parcel A along Houston Street only, this application is recommended for tentative approval, subject to the following conditions:

- 1) relabeling of the lots to "Lot" A and B instead of "Parcel" A and B;
- 2) dedication sufficient to comply with Section V.B.16. of the Subdivision Regulations regarding curb radii at the corner of Government Street and Houston Street;
- 3) depiction of the 25-foot minimum building setback line along Government Street for Parcel A and Houston Street for Parcel B;
- 4) depiction of a 20-foot minimum building setback along Houston Street for Parcel A;
- 5) depiction of the lot area, in square feet, for each lot on the Final Plat or provision of a table on the Final Plat with the same information;

- 6) placement of a note on the Final Plat stating that Parcel B is denied access to the 15-foot wide alley to the North of the parcel;
- 7) placement of a note on the Final Plat stating that Parcel A is denied access to Government Street;
- 8) removal of the current curb cut to Government Street to include removal of paving, replacement of the curb, and resodding of the same area;
- 9) placement of a note on the final plat limiting each lot to one curb cut to Houston Street, with the size, design, and exact location of all curb cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 10) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 11) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 3 DATE April 7, 2011

APPLICANT First Church Subdivision

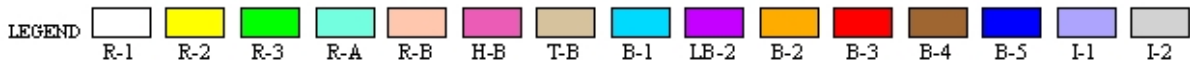
REQUEST Subdivision



FIRST CHURCH SUBDIVISION



APPLICATION NUMBER 3 DATE April 7, 2011



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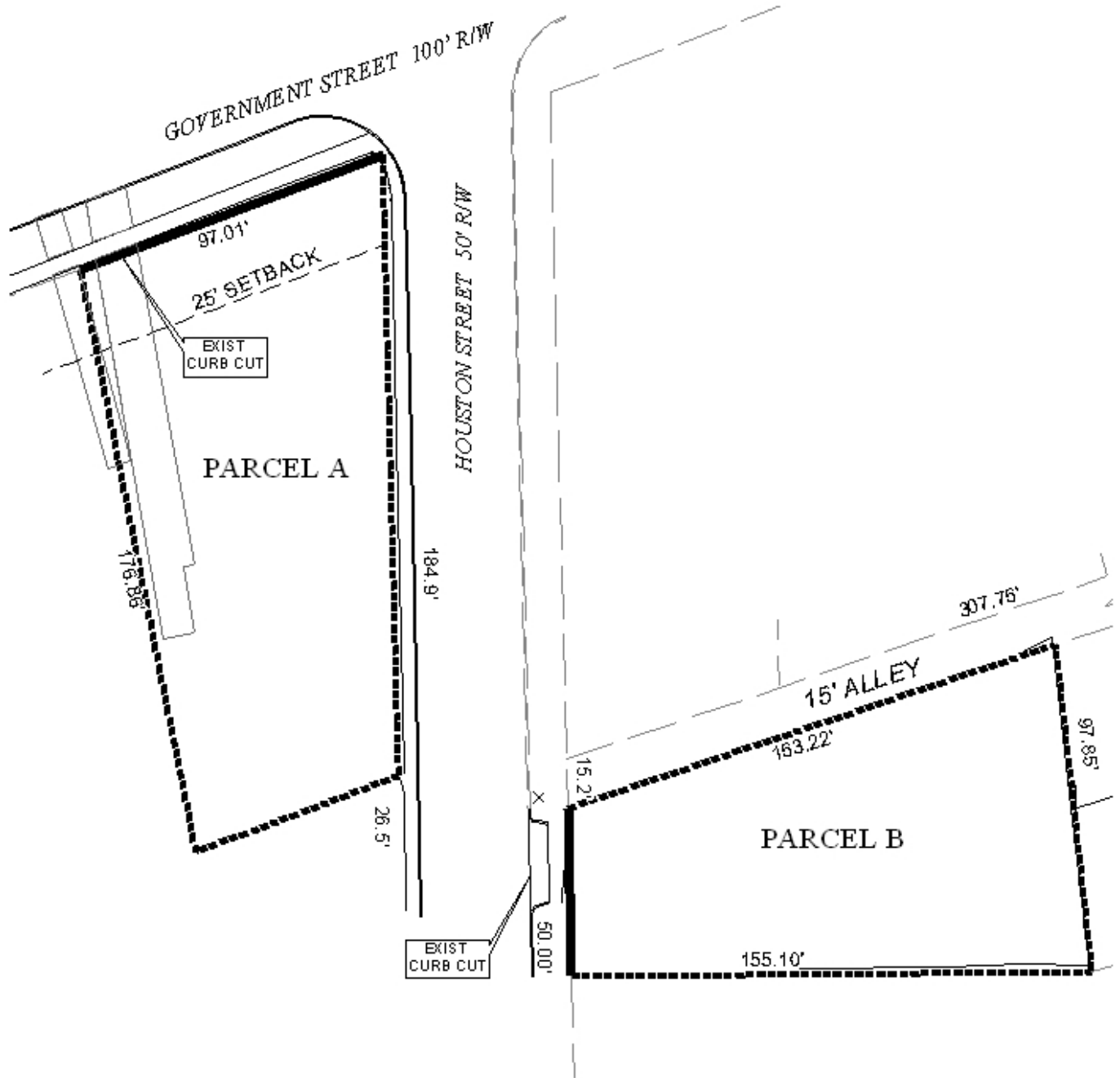
FIRST CHURCH SUBDIVISION



APPLICATION NUMBER 3 DATE April 7, 2011



DETAIL SITE PLAN



APPLICATION NUMBER 3 DATE April 7, 2011

APPLICANT First Church Subdivision

REQUEST Subdivision

