

CABELA SUBDIVISION

Engineering Comments: Development of property must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 6-lot, 2.2± acre subdivision which is located on the North side of Wulff Road, 400'± East of Snow Road. The subdivision is served by city water and individual septic systems.

The purpose of the application is to create six legal lots of record from a metes and bounds parcel.

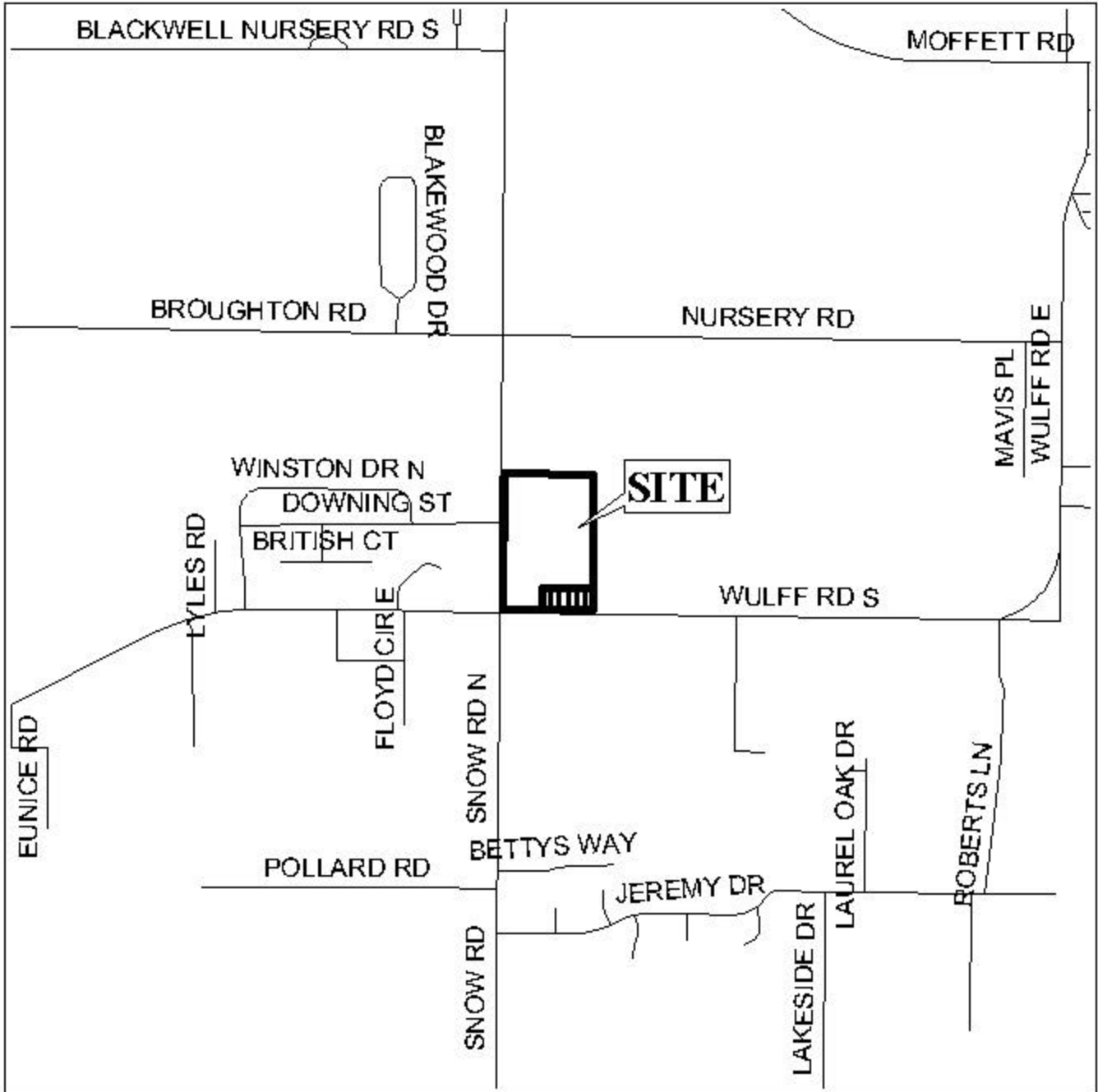
The site fronts Wulff Road and Snow Road, both planned major streets, which have existing rights-of-ways of 80-feet. The Major Street Plan requires a 100-foot right-of-way along these major streets. However, since this development would create 6 lots from a portion (2.3 acres along Wulff Road) of a large tract (25 acres), the dedication of sufficient right-of-way to provide 50-feet from the centerline of only Wulff Road should be required.

The applicant should be aware that further subdivision of the area labeled “future development” would require an additional subdivision application(s) and dedication(s) of right-of-way along Snow Road. Additionally, as a means of access management, a note should be placed on the final plat stating the development is limited to three curbs cut to Wulff Road (each lot having shared access), with the size, location and design to be approved by County Engineering.

Since the site is located in the County, a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property, shall provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

With modifications, the final plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of any necessary rights-of-ways to provide 50-feet from the centerline of Wulff Road; 2) the placement of a note on the final plat stating that the site is limited to three curb cuts to Wulff Road (each lot having shared access), with the size, location and design to be approved by County Engineering; and 3) the placement of a note on the final plat stating that a buffer, in compliance with Section V.A.7. will be provided where the site adjoins residentially developed property.

LOCATOR MAP



APPLICATION NUMBER 3 DATE September 18, 2003

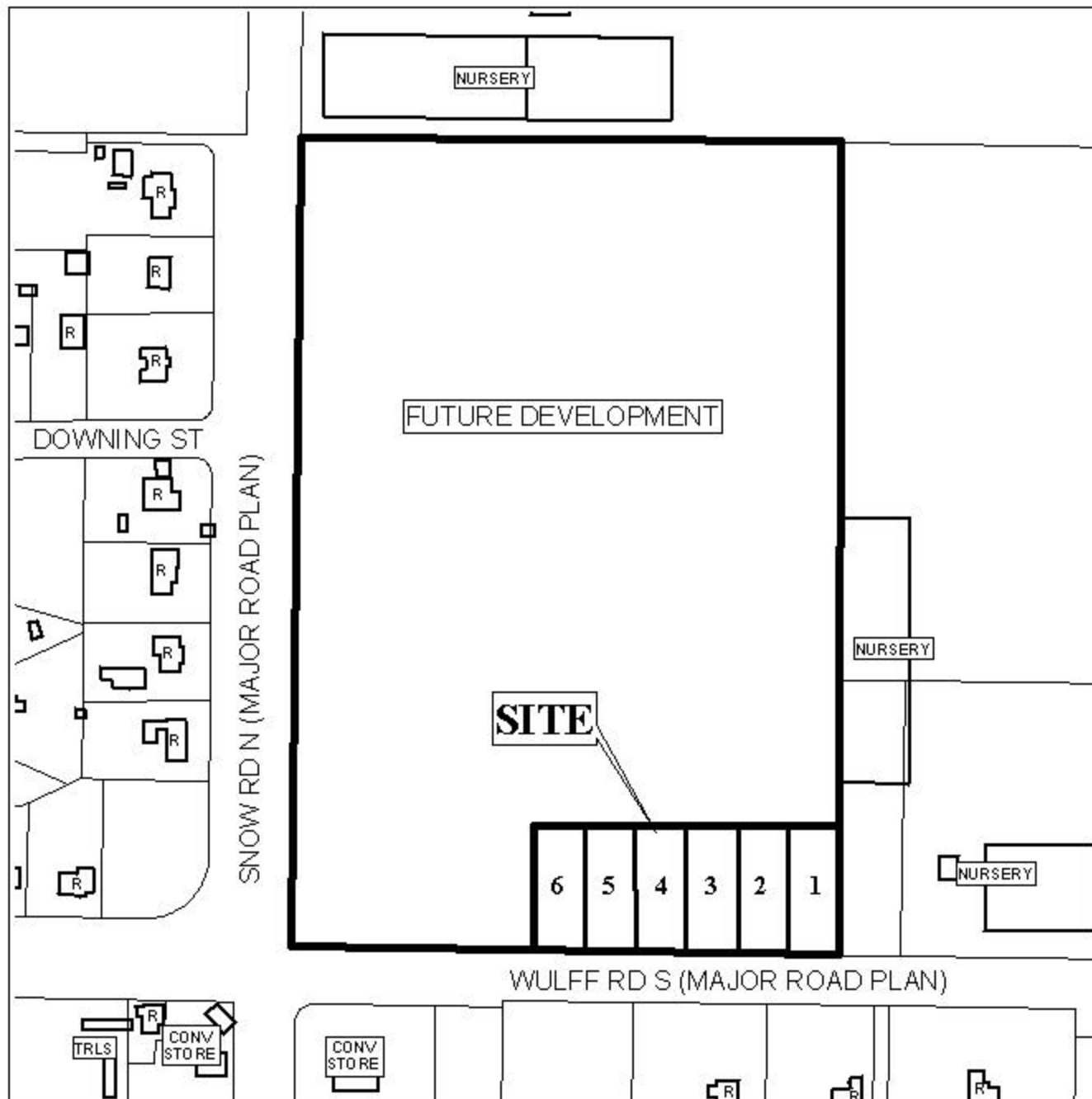
APPLICANT Cabela Subdivision

REQUEST Subdivision



NTS

CABELA SUBDIVISION



APPLICATION NUMBER 3 DATE September 18, 2003

- LEGEND
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| R-1 | R-2 | R-3 | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



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