

**GOVERNMENT STREET AT MICHIGAN AVENUE**  
**PLAT #1 SUBDIVISION, A RESUBDIVISION OF THE**  
**MAJOR PORTION OF LOTS 1, 2, 3, AND A PORTION**  
**OF LOT 4 OF GLENDALE PARK SUBDIVISION**

Engineering Comments: Need to provide a 25' radius to be dedicated to the City at the intersection of Government St and Michigan Avenue. On the plat, rename Government Boulevard to Government Street and indicate the ROW widths on Government St and Michigan Avenue. Also on the plat, expand the flood zone designation of Zone X to show that the property is located in Zone X-Unshaded. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet since 1984 will require detention. Drainage from the site needs to tie subsurface to a City maintained system. The receiving system will need to be analyzed to show that it has the capacity to receive drainage from the site. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 0.4± acre, 1-lot subdivision which is located on the Southwest corner of Government Street and Michigan Avenue, and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create one legal lot of record from one metes-and-bounds tax parcel, which consists of portions of four lots of record. Mobile County Revenue Department online records document the parcel at least back to 1972, and the legal description on the plat is from 1971. The property has changed hands several times since 1972.

The site fronts Government Street and Michigan Avenue, both proposed major streets. The plat does not indicate the right-of-way width, as required. The right-of-way for Government Street

should 100', and the right-of-way for Michigan Avenue should be 100'. Furthermore, dedication of the corner radius per Section V.D.6. of the Subdivision Regulations should be required.

The preliminary plat incorrectly labels Government Street as "Government Boulevard", and should be corrected if approved.

The 25-foot minimum building setback line, required in Section V.D.9. of the Subdivision Regulations, is not shown for the subdivision, and should be shown along all frontages, if approved. It should be noted that a variance was granted by the Board of Zoning Adjustment at its December 6, 1993 meeting to allow an encroachment on the front setback along Government Street for the existing canopy over the gas pumps, however, no future development would be allowed in the front setback without another variance being granted.

The site currently has two curb cuts each onto to Government Street and Michigan Avenue, however the site should be limited to one curb cut each on Government Street and Michigan Avenue. It would be preferable that both curb cuts closest to the intersection be closed in order to ease congestion. Also of note is that the existing curb cuts are much larger than is typical, with the narrowest being 40'± and the widest 53'±. Any modifications to existing curb cuts will require the approval of Traffic Engineering and the Alabama Department of Transportation. Closed curb cuts should be landscaped to match existing.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for holdover until the June 2<sup>nd</sup> meeting, with revisions due by May 19<sup>th</sup>, so that the following items can be addressed:

- 1) show right-of-way widths, with dedication if necessary;
- 2) show corner radius dedication;
- 3) depict and label 25' setback, reflecting any required dedication;
- 4) revise lot size to reflect dedication;
- 5) correct Government Street label; and
- 6) provide documentation regarding the partial lots, and when the parcel was created.

***Revised for the June 2<sup>nd</sup>, 2011 meeting:***

*The application was heldover from the May 5, 2011 meeting at the Commission's request. The Commission required information to be submitted by May 19, 2011, so the following items could be addressed:*

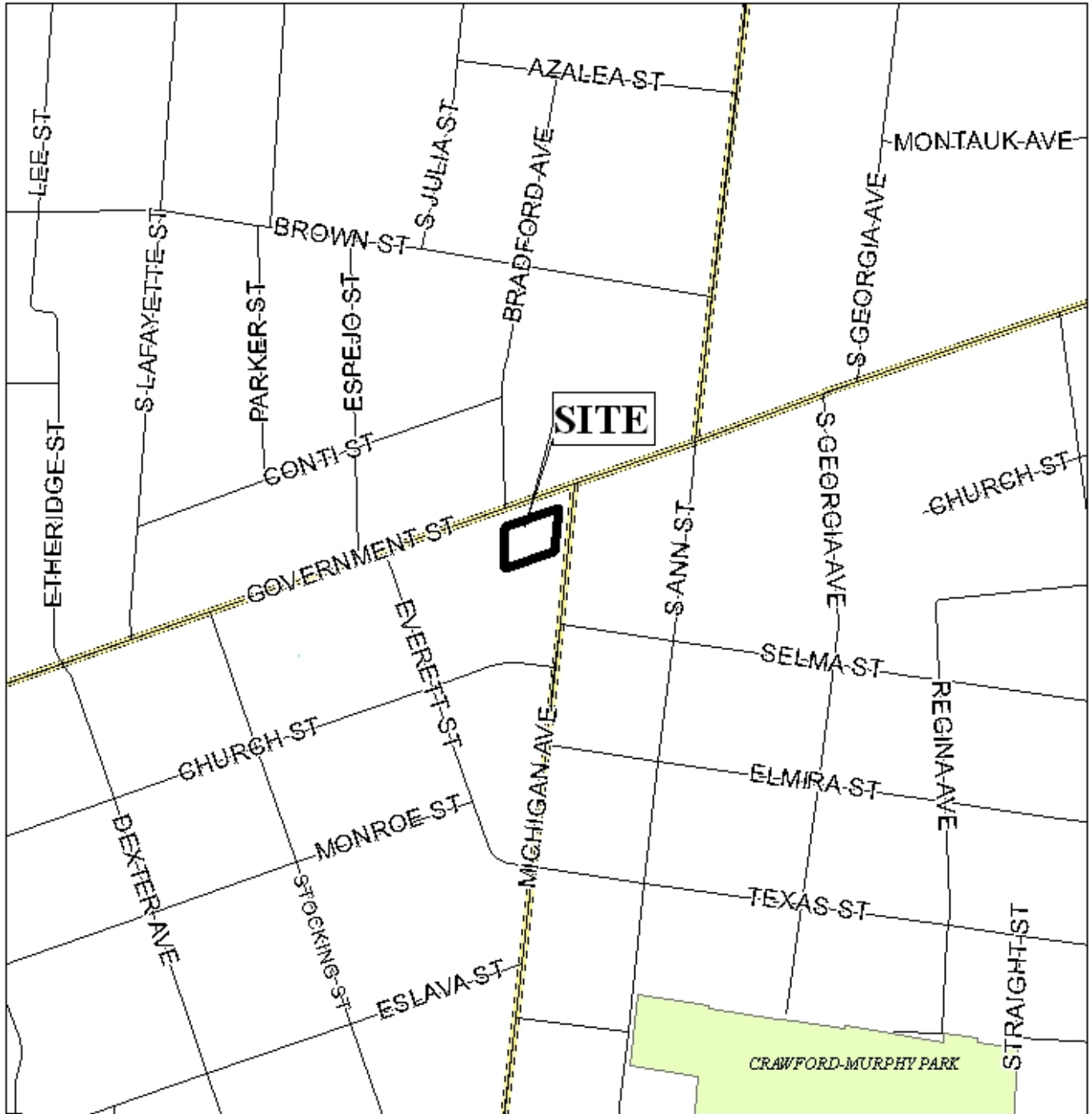
- 1) show right-of-way widths, with dedication if necessary;*
- 2) show corner radius dedication;*
- 3) depict and label 25' setback, reflecting any required dedication;*
- 4) revise lot size to reflect dedication;*
- 5) correct Government Street label; and*
- 6) provide documentation regarding the partial lots, and when the parcel was created.*

*The applicant has since submitted revised plat with all right-of way dedications shown accurately, the 25' setback shown and labeled, and Government Street properly labeled. Documentation was also provided showing that the parcel's legal description is the same today as it was in 1957.*

*Based upon the preceding, the application is recommended for tentative approval with the following conditions:*

- 1) placement of the label of the lot with its size in square feet;*
- 2) placement of the 25-foot minimum building setback line along all right-of-way frontages;*
- 3) placement of a note on the Final Plat limiting the development to one curb cut each to Government Street and Michigan Avenue, with the size, design, and location of all curb cuts to be approved by Mobile City Engineering and conform to AASHTO standards;*
- 4) compliance with Engineering comments (Need to provide a 25' radius to be dedicated to the City at the intersection of Government Street and Michigan Avenue. On the plat, rename Government Boulevard to Government Street and indicate the ROW widths on Government Street and Michigan Avenue. Also on the plat, expand the flood zone designation of Zone X to show that the property is located in Zone X-Unshaded. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet since 1984 will require detention. Drainage from the site needs to tie subsurface to a City maintained system. The receiving system will need to be analyzed to show that it has the capacity to receive drainage from the site. Any work performed in the right of way will require a right of way permit. Drainage from any dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.);*
- 5) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;*
- 6) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and*
- 7) approval of all applicable federal, state and local agencies prior to the issuance of any permits or land disturbance activities.*

# LOCATOR MAP



APPLICATION NUMBER 1 DATE June 2, 2011

Government at Michigan Avenue Plat #1 Subdivision, A Resubdivision  
of the Major Portion of Lots 1,2,3 and a Portion of Lot 4 Glendale Park

APPLICANT Subdivision

REQUEST Subdivision



**GOVERNMENT AT MICHIGAN AVENUE PLAT # 1 SUBDIVISION, A  
RESUBDIVISION OF THE MAJOR PORTION OF LOTS 1, 2, 3 AND  
A PORTION OF LOT 4 OF GLENDALE PARK SUBDIVISION**

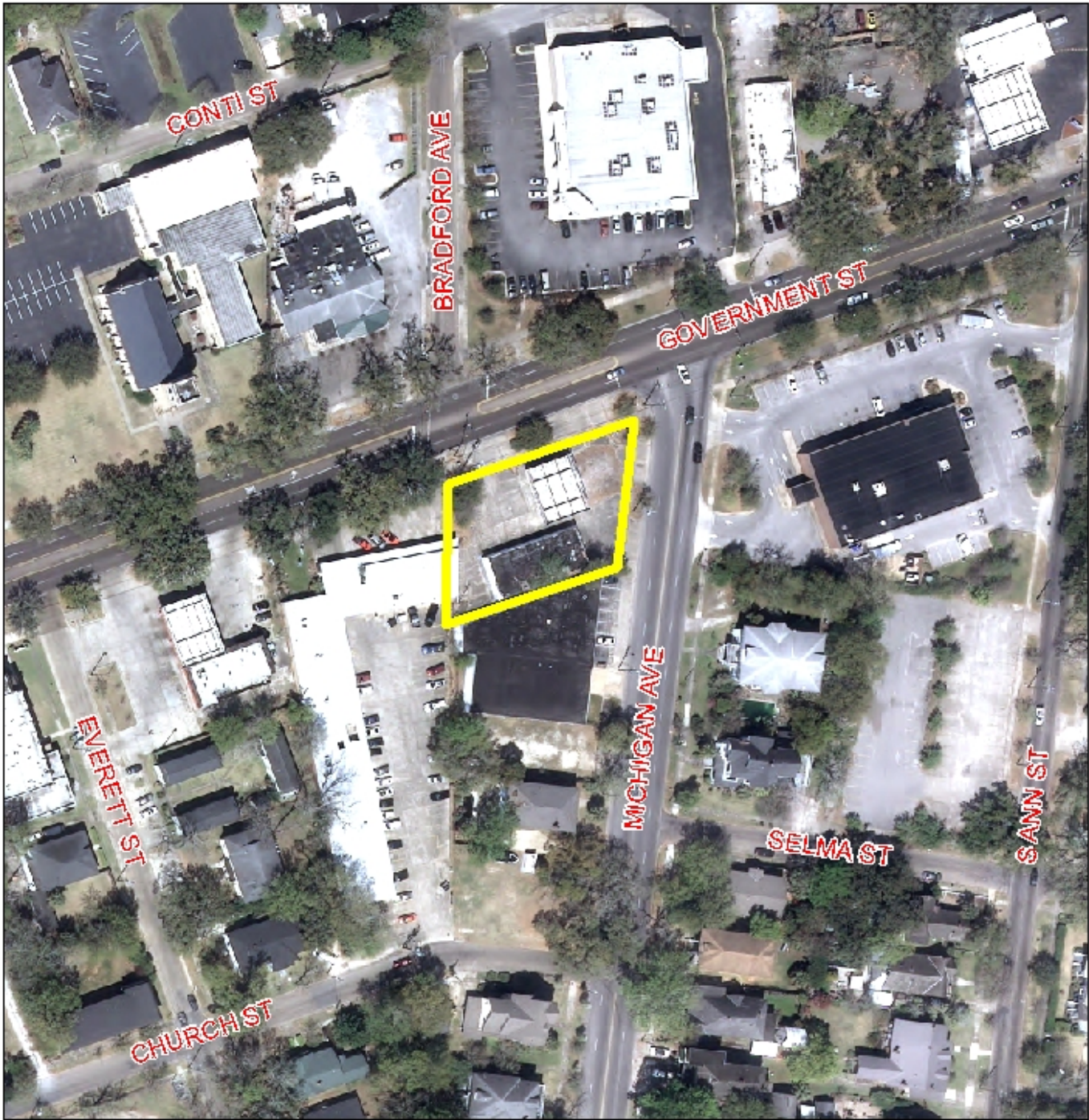


APPLICATION NUMBER 1 DATE June 2, 2011

LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



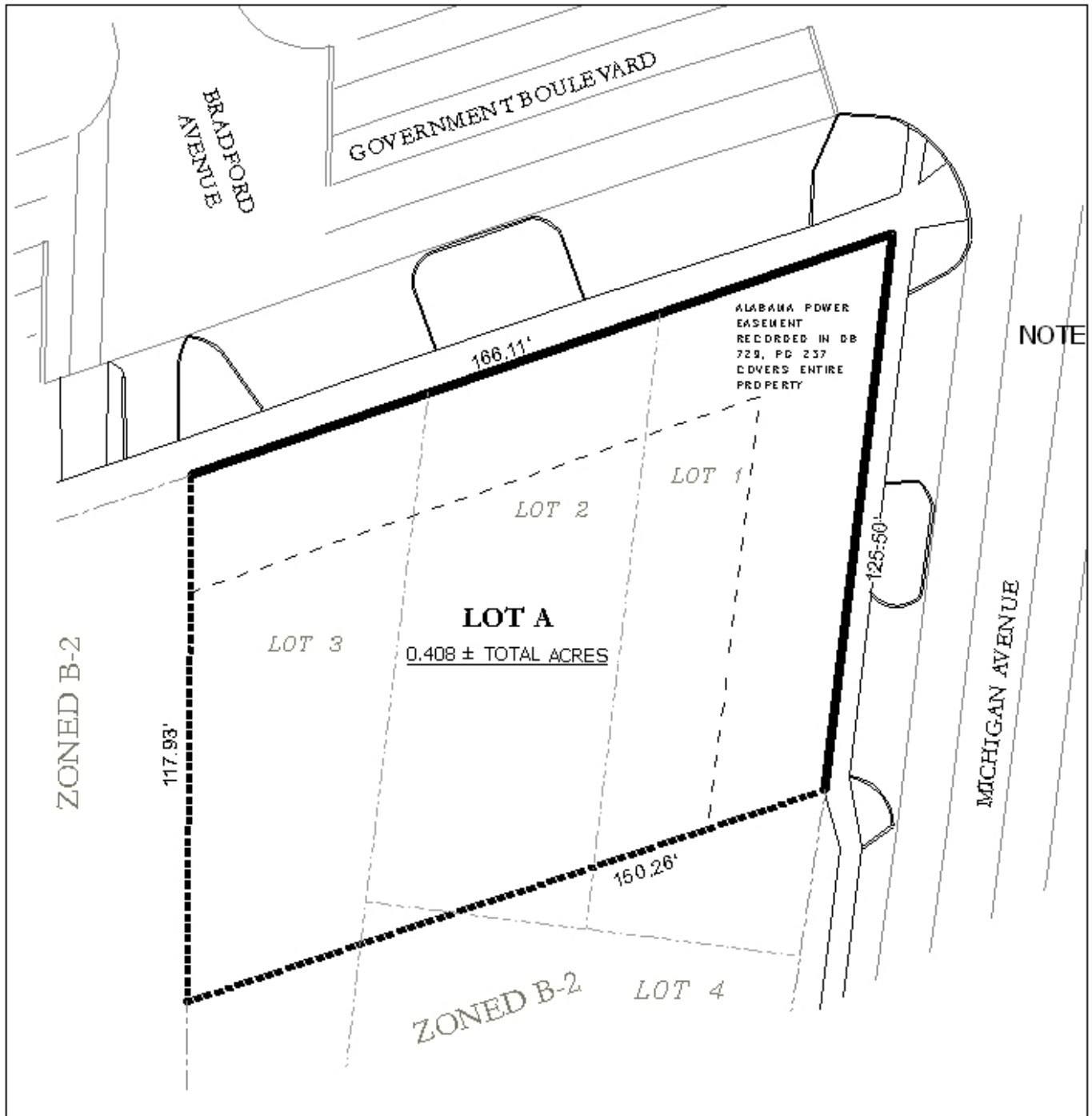
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APPLICATION NUMBER 2 DATE June 2, 2011



# DETAIL SITE PLAN



APPLICATION NUMBER 1 DATE June 2, 2011

APPLICANT Government at Michigan Avenue Plat # 1 Subdivision , A Resubdivision of the Major Portion of Lots 1, 2, 3 and a Portion of Lot 4 of Glendale Park Subdivision

REQUEST Subdivision