



# Agenda Item #2

## Application 2024-68-CA

### DETAILS

---

**Location:**

1662 Government Street

**Summary of Request:**

Replace non-compliant windows; remove inappropriate box casings from porch columns

**Applicant (as applicable):**

Brandon Maye

**Property Owner:**

same

**Historic District:**

Old Dauphin Way

**Classification:**

Contributing

**Summary of Analysis:**

- The porch decking was not replaced in kind with tongue-and-groove boards.
- The condition of the removed windows is unknown, as the work was performed without an issued COA or building permit.
- The proposed window material (vinyl) and sizes not matching the existing openings do not conform to the *Guidelines*.
- Removal of the front porch frieze and balustrade was performed without an issued COA and counter to the *Guidelines*.
- Enclosure of the chamfered front porch posts is not a treatment consistent with the *Guidelines*.

UPDATED SUMMARY

- The updated scope of work includes the installation of an appropriate window which fits the original openings on the more visible elevations.
- Porch decking would remain.
- Enclosures around chamfered front porch posts would be removed.

**Report Contents:**

Property and Application History ..... 2

Scope of Work ..... 2

Applicable Standards ..... 2

Staff Analysis ..... 4

Attachments ..... 6

## PROPERTY AND APPLICATION HISTORY

---

Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes “fine examples of commercial, institutional, and religious structures as well as 20<sup>th</sup>-century apartments.”

The property at 1662 Government Street is a c. 1905 two-story frame Folk Victorian style house with complex massing and a full-width front porch. The 1925 Sanborn map shows the dwelling originally was L-shaped with a two-story porch infilling in the rear void. A one-story frame garage existed behind the house, in the same general location as the existing carport. A photo appearing to date from the 1940s or 1950s in the Historic Development Department’s file shows the rear porch extant, but it was fully enclosed as living space at an unknown date. A later one-story shed-roofed porch on the rear (north) elevation was enclosed at an unknown date. A photo of similar vintage (1940s/1950s) shows the front porch bordered by a railing with balusters, and 2007 through 2023 Google Street Views photographs show the front porch enclosed by a plain railing and frieze suspended from the cornice between chamfered post supports.

This property appeared three times before the Old Dauphin Way Review Board (ODWRB). In September 1990, a COA (Certificate of Appropriateness) was granted to perform repairs on the garage. The ODWRB approved repair/replacement of the front porch decking with 1”x4” tongue-and-groove boards in October 1995. In October 2024, an after-the-fact application was presented to the Board that included inappropriate alterations. This application was tabled with a directive to resubmit.

## SCOPE OF WORK

---

### ORIGINAL SCOPE OF WORK

1. Replace all porch decking with plain 1’x4” boards.
2. Replace all windows except beneath front porch with vinyl types.
  - a. The windows being installed are one-over-one ViWinTech Shoreline 2150 Series DP-50 windows.
  - b. To fill the entire original openings, the window sashes are supplemented by wide horizontal mullions with single light “transoms” above.
3. Enclose chamfered front porch supports with 1"x8" wood to square with plain bases and capitals.
4. Remove porch frieze and balustrade.

### UPDATED SCOPE OF WORK

1. Porch decking would remain.
2. Remove enclosures on existing chamfered front porch supports and retain.
3. Replace previously installed inappropriate vinyl windows and transoms on the east and west elevations of the original block of the house with one-over-one aluminum clad window which would fit the openings. Vinyl windows and transoms installed on the later additions would remain.

## APPLICABLE STANDARDS (*Design Review Guidelines for Mobile’s Historic Districts*)

---

1. **5.4** Preserve original building materials.
  - Repair deteriorated building materials by patching, piecing-in, consolidating or otherwise reinforcing the materials.
  - Remove only those materials which are deteriorated and beyond reasonable repair.
2. **5.17** Preserve historic stylistic and architectural details and ornamentation.
  - Preserve storefronts, cornices, turned columns, brackets, exposed rafter tails, jigsaw ornaments, and other key architectural features that are in good condition.

- Retain historic details and ornamentation intact.
  - Retain and treat exterior stylistic features and examples of skilled craftsmanship with sensitivity.
  - Repair historic details and ornamentation that are deteriorated.
3. **5.19** Where repair is impossible, replace details and ornamentation accurately.
- When replacing historic materials, match the original in profile, dimension, and material.
  - A substitute material may be considered if it appears similar in character and finish to the original. A measured drawing may be required in these instances to recreate missing historic details from photographs.
4. **5.20** Preserve the functional historic and decorative features of a historic window.
- Where historic (wooden or metal) windows are intact and in repairable condition, retain and repair them to match the existing as per location, light configuration, detail and material.
  - Preserve historic window features, including the frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation, and groupings of windows.
  - Repair, rather than replace, frames and sashes, wherever possible.
  - For repair of window components, epoxies and related products may serve as effective solutions to material deterioration and operational malfunction.
5. **5.21** When historic windows are not in a repairable condition, match the replacement window design to the original.
- In instances where there is a request to replace a building's windows, the new windows shall match the existing as per location, framing, and light configuration.
  - Use any salvageable window components on a primary elevation.

6. **5.22**

ACCEPTABLE WINDOW MATERIALS

Materials that are the same as the original, or that appear similar in texture, profile and finish to the original are acceptable. These often include:

- Wood sash
- Steel, if original to structure
- Custom extruded aluminum
- Aluminum clad wood
- Windows approved by the National Park Service

UNACCEPTABLE WINDOW MATERIALS Materials that do not appear similar to the original in texture, profile and finish are unacceptable. These often include:

- Vinyl
- Mill-finished aluminum
- Interior snap-in muntins (except when used in concert with exterior muntins and intervening dividers)

7. **6.5** Repair a porch in a way that maintains the original character.
8. **6.6** If replacement is required, design it to reflect the time period of the historic structure.
- Replace a historic porch element to match the original.
  - Use replacement materials and elements that are appropriate to the style, texture, finish, composition, and proportion of the historic structure.
  - Match the balustrade of a house to the design and materials of the porch.
  - Do not completely replace an entire porch or element unless absolutely necessary. Only replace the element or portion of an element that requires replacement.

## STAFF ANALYSIS

The house at 1662 Government Street is a contributing resource within the Old Dauphin Way Historic District. The application under review seeks after-the-fact approval for porch decking replacement, replacement of all but three (3) windows with vinyl sashes, the removal of the porch balustrade and frieze, and the enclosure of chamfered porch posts with 1"x8" boards.

In September 2024, the Historic Development office received a call from a member of the public reporting that the windows at the subject property were being replaced without the issuance of a COA. Upon visiting the property, staff discovered that, in addition to window replacements, the porch decking, balustrade, and trim had been removed, and the chamfered porch posts were boxed within 1"x8" boards. The work in question was not authorized by a building permit. A Stop Work Order was issued, and the homeowner was instructed to apply for a COA.

The *Design Review Guidelines for Mobile's Historic Districts (Guidelines)* instruct that historic building materials should be preserved through repair; only those materials not in reasonably repairable condition should be removed. (5.4, 5.20) The *Guidelines* further state, "Where historic (wooden or metal) windows are intact and in repairable condition, retain and repair them to match the existing as per location, light configuration, detail and material." (5.20) The condition of the front porch decking and the removed windows is not known and cannot be ascertained as there is no known documentation of such.

The front porch decking was previously replaced in 1995, per the issued COA. Although the current design guidelines were adopted in 2016, their instruction to replace existing historic materials with those matching the original in profile, dimension, and material appears to have been specified in the COA's scope of work. (5.19) The recently replaced decking was not historic, but the COA issued almost 30 years ago specified 1"x4" tongue-and-groove boards. The decking now in place is not consistent with the previously approved decking, which would have been appropriate for a house of the subject property's vintage.

The *Guidelines* instruct that unrepairable historic windows should only be replaced with windows that match the design of the originals (5.21), and historic materials in general, should match the original in profile, dimension, and material. (5.19) "In instances where there is a request to replace a building's windows, the new windows shall match the existing as per location, framing, and light configuration." Vinyl windows are expressly considered unacceptable in Mobile's historic districts. (5.22) The replacement vinyl windows currently installed in fifteen (15) of the house's 31 windows do not match the existing, historic windows in light configuration, size, or material.

The front porch frieze and balustrade have been removed, and the chamfered wood porch posts have been boxed with 1"x8" boards. Regarding stylistic elements and ornamentation in general, the *Guidelines* clearly state that historic stylistic and architectural details and ornamentation are to be preserved. "Preserve storefronts, cornices, turned columns, brackets, exposed rafter tails, jigsaw ornaments, and other key architectural features that are in good condition." (5.17) Because no application for a COA was made prior to the frieze and balustrade being removed and the porch posts being boxed, there was no opportunity to ascertain the condition of those elements. The *Guidelines* instruct that porch repairs should be conducted such that the porch's original character is preserved. (6.5) Further, porch elements should not be replaced unless absolutely necessary. (6.6) The work completed on the porch thus far appears to contravene the *Guidelines*.

### **UPDATE TO APPLICATION**

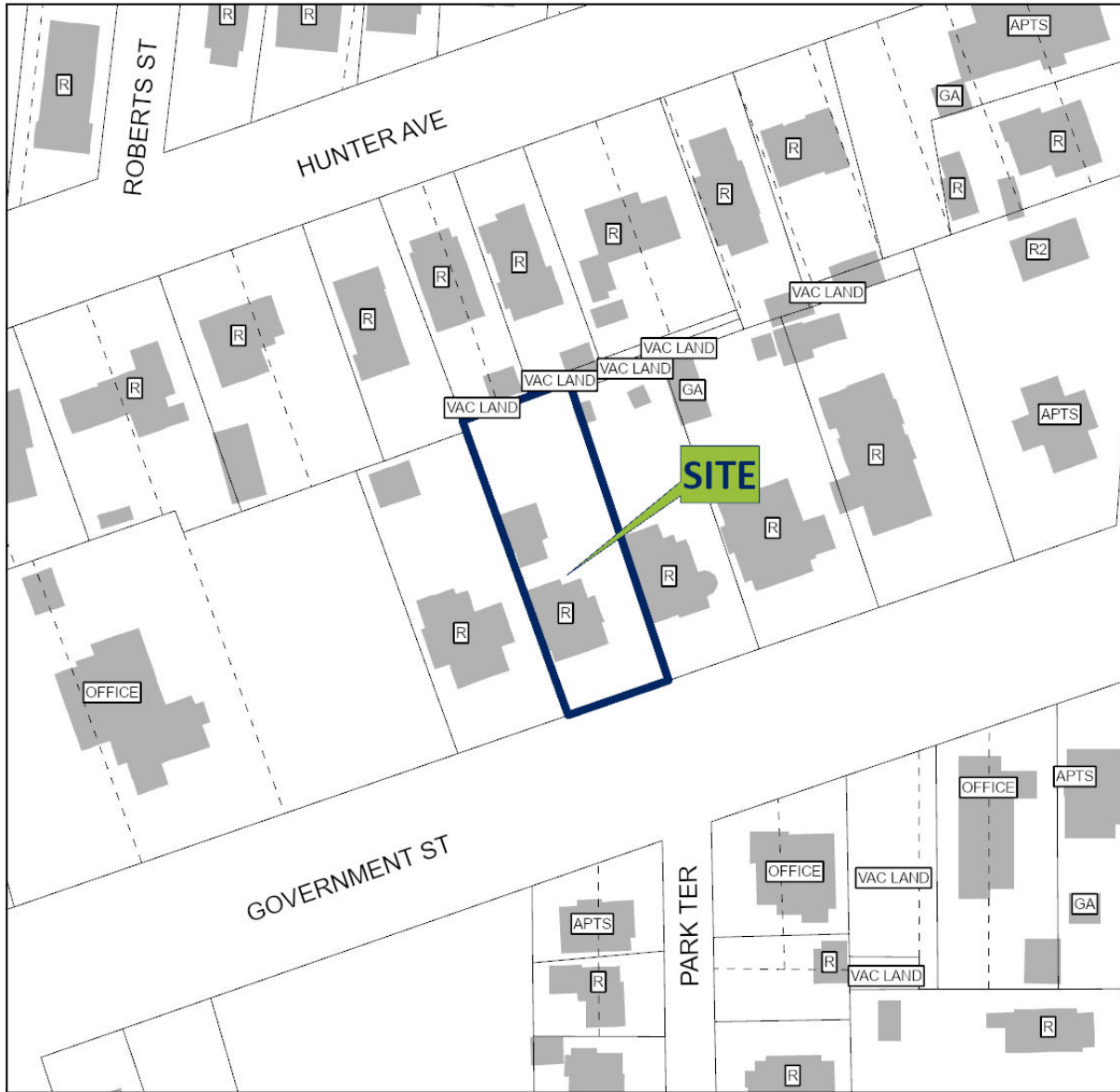
This application was reviewed by the ARB at their October 16<sup>th</sup> meeting. The application was tabled, and the applicant was instructed to meet with Staff in order to submit a new application which addressed how the

inappropriate window installation would be resolved, along with the front porch decking, and columns. It was further emphasized that the current scope of work would require design drawings.

The updated scope of work, listed above, would result in the retention of the existing porch decking and columns. One-over-one aluminum clad windows that would fit the original window openings (no specific dimensions were provided) would be installed on the original main block of the dwelling. The aluminum clad material is an approvable window material. The one-over-one light configuration is also appropriate as, though not original, the building historically had windows with this configuration. (5.22)

The vinyl windows and transoms previously installed would remain on the less visible east and west elevations of the rear (north) later additions and enclosed porch. These windows would also remain across the rear (north) elevation, which cannot be seen from the street. Windows that have not yet been removed on the rear elevation would be retained and repaired.

## ARCHITECTURAL REVIEW BOARD VICINITY MAP



|   |  |
|---|--|
| APPLICATION NUMBER <u>2</u> DATE <u>12/4/2024</u>   |  |
| APPLICANT <u>Brandon Maye</u>   |  |
| PROJECT <u>Replace non-compliant windows; remove inappropriate box casings from front porch columns</u> |  |

## Site Photos – 1662 Government Street



1. South elevation (façade)



2. View south to west end of front porch



7. View northwest to east end of façade, 2<sup>nd</sup> floor; original window at left; replacement window at right



4. View northwest to south (left) and east (right) elevations



5. View southwest to east (left) and north (right) elevations



6. north (rear) elevation

## Site Photos – 1662 Government Street



7. Detail: replacement windows on enclosed rear porch



8. View northeast to west elevation



# SIERRA PACIFIC DOUBLE HUNG SASH KITS

## TRANSCEND

REPLACEMENT WINDOWS & PATIO DOORS



**SIERRA  
PACIFIC**  
WINDOWS THAT  
NEVER COMPROMISE

# REPLACE YOUR OLD DOUBLE HUNG WINDOWS WITH NEW ENERGY-EFFICIENT SIERRA PACIFIC WINDOWS WITHOUT REMOVING YOUR EXISTING WINDOW FRAME.

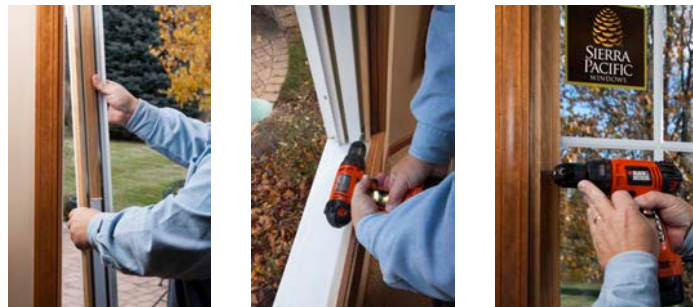
If your existing double hung window frames are still in good condition, here's the smartest, least expensive, most convenient way to replace them. Sierra Pacific easy-tilt replacement sash kits are sized to fit your existing sash opening. They install very easily. It's all accomplished from inside your home—without removing your existing frame, sill, interior or exterior trim.

As with every Sierra Pacific product, better engineering in our sash kit means noticeably better performance. Both sash tilt easily to make removal and cleaning a snap. Both sash operate smoothly and seal completely.

So you get all the benefits of today's newest window technology without the expense and mess of a big remodeling project.

## HERE'S WHY SIERRA PACIFIC SASH KITS ARE SUPERIOR TO OTHERS:

1. Unlike other sash kits, our balances are concealed. You'll appreciate the difference immediately.
2. Our sash kits are adjustable for far superior installation and smoother operation.
3. Our wood is protected to the very core with CoreGuard™ P lus. It's the best wood protection in the business, and only Sierra Pacific has it.
4. Our sash kits are protected on the outside by double-thick, heavy-duty, .055 extruded aluminum cladding.
5. Our optional integral screen channel is a first.
6. Matching full or half screens are available and automatically Pre-Sized to the Sash Kit.
7. Although you get everything you need (all parts, detailed installation and finishing instructions), we've simplified installation by using fewer parts and no clips.



# AVAILABLE WITH THE FULL RANGE OF SIERRA PACIFIC OPTIONS.

## PICK YOUR FAVORITE COLOR.

### COLOR STAY™ COLLECTION

|                   |                   |                  |                       |                    |                       |                       |
|-------------------|-------------------|------------------|-----------------------|--------------------|-----------------------|-----------------------|
| White 001         | ✓ Linen 032       | French Linen 112 | Morning Dove Gray 113 | Colonial White 313 | Sandstone 003         | Beige 335             |
| Tan 043           | ✓ Gull Gray 007   | ✓ Seawolf 044    | Fashion Gray 111      | Slate Gray 045     | ✓ Battleship Gray 321 | TW Black 061          |
| ✓ Black Sable 060 | Slate Blue 008    | Light Blue 046   | ✓ Steel Blue 114      | Aqua Mist 115      | Hampton Blue 323      | Sage Green 005        |
| Teal 047          | Hemlock Green 048 | Patina Green 051 | Forest Green 049      | Evergreen 009      | Green 004             | ✓ Hartford Green 050  |
| Moss 031          | ✓ Greek Olive 081 | Terra Cotta 053  | ✓ Clay 026            | ICI Brown 056      | ✓ Colonial Red 054    | Harvest Cranberry 010 |
| Burgundy 055      | Deep Plum 116     | Deep Taupe 077   | ✓ Antique Bronze 057  | TW Brown 058       | ✓ Bahama Brown 309    | Regal Brown 059       |
| Brown 002         | ✓ Bronze 024      | ✓ Black 023      |                       |                    |                       |                       |

The exterior of Sierra Pacific sash kits is fully encased in low maintenance, heavy-duty, extruded aluminum. Ours is at least twice as thick as our competitors' roll-form cladding.

What's more, our finishing process leads the industry in durability and environmental safety. Non-hazardous AAMA 2604 and 2605 powder-coatings have the color retention, surface hardness and scratch resistance necessary to withstand even the harshest conditions.

As for colors? Nobody gives you more choices than Sierra Pacific. 75 colors and some sensational textures allow you to add warmth, a splash of cheerfulness or a new statement to your designs. We'll also custom match any color you choose.

### TEXTURED COLLECTION

|                     |                   |                           |
|---------------------|-------------------|---------------------------|
| El Cajon Silver 068 | Sift Espresso 097 | Mocha 098                 |
| Cajun Spice 099     | Pesto 100         | Available AAMA 2604 only. |

### WEATHERED COLLECTION

|                           |                     |                          |
|---------------------------|---------------------|--------------------------|
| Weathered Café Royale 104 | Weathered Cocoa 105 | Weathered Brown 034      |
| Weathered Bronze 078      | Weathered Clay 075  | Weathered Red Pepper 108 |
| Weathered Rust 076        | Weathered Basil 107 |                          |

### INDUSTRIAL COLLECTION

|                              |                            |
|------------------------------|----------------------------|
| Medium Bronze Industrial 101 | Dark Bronze Industrial 102 |
|------------------------------|----------------------------|

### PEARL METALLIC COLLECTION

|                         |                       |                        |
|-------------------------|-----------------------|------------------------|
| El Cajon Silver 068     | Platinum 067          | Light Bronze Pearl 069 |
| Medium Bronze Pearl 070 | Dark Bronze Pearl 071 |                        |

### METALLIC COLLECTION

|                    |                        |                    |
|--------------------|------------------------|--------------------|
| Alpine Silver 062  | Metallic Champagne 063 | Bronze Classic 064 |
| Classic Copper 088 | Copper Penny 065       |                    |

### ANODIZED COLLECTION

|                         |                     |                  |
|-------------------------|---------------------|------------------|
| Clear Anodized 103/332  | Anodized 096/307    | Anodized 095/306 |
| Black Anodized 0117/353 | Copper Anodized 352 |                  |

✓ Colors available in vinyl  
Printing limits our ability to show colors precisely.  
See your local representative for actual cladding samples.

# PICK YOUR FAVORITE WOOD.



Copyright Vance Fox, Heslin Construction

A Sierra Pacific replacement sash kit will warm your room with the natural beauty and insulation of wood.

In a perfect world, your windows would match your cabinets perfectly. So Sierra Pacific lets you specify the wood species for your sash kit. While our standard ponderosa pine is pure premium grade, you can also choose from eight other woods or any workable species.

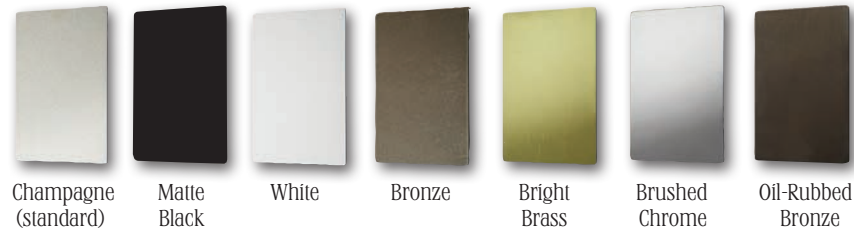
# PICK YOUR FAVORITE FINISH.



Lock.

Optional sash lift handle.

# CHOOSE FROM 7 OF TODAY'S MOST POPULAR HARDWARE FINISHES.



Champagne (standard) Matte Black White Bronze Bright Brass Brushed Chrome Oil-Rubbed Bronze

# A SPOTLESS FACTORY FINISH.

While an unfinished interior is our standard finish, or a Latex Factory Primer is available- both allowing you to apply your own final finish, nothing beats a factory finish performed with state-of-the-art equipment under rigorously controlled, ultra-clean conditions. Sierra Pacific gives you 2 premium options.

Our Ultra Stain brings out all the beauty of your wood interior.

Our Ultra Coat is a catalyzed polyurethane, interior paint that's so durable, it could be used outdoors.

Custom matched stains are also available.

# TURN BASIC INTO BOASTFUL.

Enhance your sash kit with the classic charm of our wood grilles or divided lites. Choose from our standard grille configurations, or design your own custom grille.

## Removable Wood Grille

Our full surround removable wood grille is a beautiful alternative to divided lites. The grille pops out easily for washing the window or if your tastes change.

## Simulated Divided Lites

Get the look of traditional true divided lites, but without the energy loss caused by individual glass panes. Extruded aluminum outside, natural wood inside, and aluminum spacers between the glass. Also available in an all-wood version.

## Grilles in Airspace

We seal the grille between the panes of glass. So you get the look you want without the grilles ever getting in your way. Available in solid or two-tone finishes. Choose from flat (5/8") or contour (11/16 or 1") profile.



### Grille Profiles

Putty 5/8"



Putty 7/8"



Putty 1"



5/8"



7/8"



1"



1-1/4"



2"



### Sierra Pacific Simulated Divided Lite

### Wood Grille

# HIGH PERFORMANCE GLAZING OPTIONS.

What's the best glazing for your replacement windows and patio doors?

Obviously, what's best for a freezing northern winter is not necessarily right for a hot southern summer.

We have the answer. With one of the broadest selections of glazing options in the window industry, Sierra Pacific lets you choose exactly the right performance glass for your exact weather and environmental conditions.

You can choose glazing to improve your energy efficiency and lower your energy bills. You can capture the sun's heat, or reflect it. You can also reduce outside noise, block the sun's damaging UV rays, or even enhance your privacy.

## Dual Pane Warm Edge Low-E



Insulated for improved energy efficiency. Single surface low-E coating to reduce solar heat gain and block UV rays.

## Low-E 366



Cardinal's triple layer silver product with Warm Edge Spacer, a high density foam, for superior performance. 95% UV protection. Solar heat gain coefficient of 0.27\*. Also available with Preserve® protective film or with Preserve and Neat® coating for a naturally cleaner glass.\*\*\*

## Low-E 366 with i89 Coating\*\*



The same superior performance as regular Low-E 366 (above), but with the addition of i89 coating on the interior surface to increase insulating value and reduce solar heat gain. Meets even the most extreme requirements in the majority of the Canadian Energy Star zones. Also available with Preserve protective film or with Preserve and Neat coating.\*\*\*

## Low-E 340



Cardinal's newest glazing innovation. It has an amazingly low 0.18\* solar heat gain coefficient to keep out the heat even in the blazing sun. Slightly tinted. Blocks 98% of UV rays. Less heat gain when it's hot, less heat loss when it's cold, and maximum glare control. Also available with Preserve protective film or with Preserve and Neat coating.\*\*\*

## Low-E 180 Passive Solar



A very high (0.70\*) coefficient for capturing solar heat gain. Ideal for reducing your heating bills in colder climates. Superior insulation value blocks cold and keeps in the heat. Also available with Preserve protective film or with Preserve and Neat coating.\*\*\*

## Low-E 180 Passive Solar with i89 Coating\*\*



The same superior performance as regular Low-E 180 (above), but with the addition of i89 coating on the interior surface to increase insulating value. Meets even the most extreme requirements in the majority of the Canadian Energy Star zones. Also available with Preserve protective film or with Preserve and Neat coating for a naturally cleaner glass.\*\*\*

## Insulated Glass



For moderate climates. Basic glazing with basic performance.

## Sound Control

Reduces outside noise by as much as 50% while blocking 99% of damaging UV rays. Laminated for shatter resistance. Available insulated or non-insulated.

## Additional Options: Obscure Glass

## Tempered Glass

## Tinted Glass

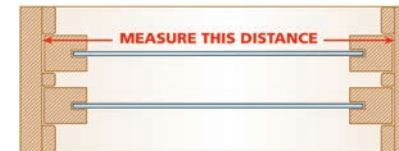
We offer 11 different decorative glass styles to help you create unique window designs, filter harsh sunlight or enhance privacy and security. From fancy to simple, formal to casual, each has its own personality and lends its own character to your décor. For the optimum in one-of-a-kind, custom designed windows, consider our leaded or stained glass. Your options are limitless. We'll work with you to handcraft anything your mind can imagine.

\*All values shown are center of glass. \*\*Interior surface coatings, also known as surface #4, are applied to the interior (room-side surface) of a dual pane IG unit, resulting in improved thermal performance and lower heating costs. Because the coating reflects heat back into the room, the room-side pane of glass will be slightly colder in winter, causing a higher potential for interior condensation. \*\*\*Available when selecting XL Edge Spacer.

# MEASURING & SIZING INFORMATION.

## How To Measure:

1. Measure the width of your existing sash opening from the inside of the wood on the left jamb to the inside of the wood on the right jamb in 3 different places: top, middle, bottom.



2. Measure the sash opening (pocket) height from the head jamb to where the exterior of the bottom sash sits on the sill when fully closed. Measure at the left side, middle, and right side.



## Tools Needed:

- Level
- Measuring tape
- Putty knife
- Utility knife
- Flathead screwdriver
- Phillips screwdriver
- Small finishing nails
- Roofing nails
- Hammer
- Miter gauge and protractor
- Saw
- Safety glasses
- Drill and drill bits

3. Measure your sill angle using a miter gauge and protractor, or use another angle measuring tool available at your hardware store. (The standard sill angle for Sierra Pacific sash kits is 14 degrees, but any angle between 5 and 14 degrees is available if specified.)



Custom Sizes in 1/8" Increments Available

## Minimum Size:

16.5" x 30.5" sash opening

## Maximum Size:

Sash opening widths up to 44", heights up to 92.5"

Sash kits can adjust to fit an opening width by as much as 1/8" via jambliner compression and installation screw adjustment. The sash opening height cannot be adjusted from the actual opening height.

Step 1 Prepare the opening.



Step 2 Install new jamb and balances.



Step 3 Install new sash.



Step 4 Install new head weatherstripping.



Step 5 Enjoy your new window.





# SIERRA PACIFIC

WINDOWS THAT  
NEVER COMPROMISE

[www.SierraPacificWindows.com](http://www.SierraPacificWindows.com) | P.O. Box 8489, Red Bluff, CA 96080 | 800-824-7744 | A Division of



Sierra Pacific windows and doors are successful thanks to our unique patents. Visit [spi-ind.com/ip](http://spi-ind.com/ip) to learn more.