



Agenda Item #3

Application 2025-11-CA

DETAILS

Location: 58 S. Hallett Street

Summary of Request:

Construct a new ancillary guesthouse

Applicant (as applicable):

Paul Davis

Property Owner:

Marc Jackson

Historic District:

Old Dauphin Way

Classification:

Contributing

Summary of Analysis:

- The placement and size of the proposed new structure are compatible with other nearby historic accessory structures.
- The proposed structure’s size is inferior to the primary dwelling, in accordance with the *Guidelines*.
- All materials are approvable for new construction and do not impair the historic integrity of the main dwelling.

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PROPERTY AND APPLICATION HISTORY

Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes “fine examples of commercial, institutional, and religious structures as well as 20th-century apartments.”

The subject property is a one-story frame bungalow with Craftsman detailing. Although the National Register nomination for the Old Dauphin Way Historic District gives the dwelling a construction date of c. 1920, a structure of very similar form appears on the 1904 Sanborn map. The same form is represented on the subsequent 1925 overlay. This form is slightly different from its present configuration. City directories place a Mr. Torrey living at the address in 1900. Given that the house presently features architectural elements such as a deep front porch supported by squared battered columns resting on brick plinths, it can be concluded that the house was constructed between 1895 and 1900 and was then altered to express the popular Craftsman style sometime shortly after 1925.

According to Historic Development Department records, this property has never appeared before the Architectural Review Board (ARB).

SCOPE OF WORK

1. Construct a new one-story ancillary guesthouse.
 - a. The proposed structure would be rectangular in shape and would sit on the west end of the lot, orientated to the east, directly behind the main dwelling.
 - b. The proposed structure would measure 22'-4" wide by 31'-4" deep and would be topped by a gable roof with exposed rafter tails. The roof would be clad in asphalt shingles.
 - c. The structure would measure 15'-7" high from finished floor to the ridge vent. Exterior walls would measure 10'-0" to top of plate.
 - d. The foundation would be slab on grade.
 - e. A full-width front porch would span the west façade, supported by four (4) equally spaced round fiber cement wrapped columns, each with cap and base.
 - f. Fenestration would consist of two entry doors and four two-over-two windows.
 - g. Windows would be vinyl clad wood and would measure 3'-0" wide by 5'-0" high.
 - h. The two doors would consist one main entry door on the façade, which would be an eight-pane fiberglass door measuring 3'-0" wide by 7'-0" high. The second door would be located on the west end of the north elevation. This door would be of solid engineered wood and would measure 3'-0" wide by 6'-8" high.
 - i. The exterior walls would be clad in fiber cement lap siding.
 - j. 4" fiber cement trim would surround all doors and windows.
 - k. Fenestration would appear as follows:
 - East façade
One (1) entry door centered on the elevation, flanked by two (2) windows.
 - West elevation
One (1) window centered on the elevation.
 - North elevation
One (1) entry door located at the west end of the elevation.
 - South elevation
One (1) window centered on the elevation.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. **9.1** Design an accessory structure to be subordinate in scale to that of the primary structure.

- If a proposed accessory structure is larger than the size of typical historic accessory structures in the district, break up the mass of the larger structure into smaller modules that reflect traditional accessory structures.
2. **9.2** Locate a new accessory structure in line with other visible accessory structures in the district.
- These are traditionally located at the rear of a lot.
 - fashion that contributes to the traditional rhythm of the district as seen in nearby historic buildings.
 - Incorporate a door casement and trim similar to those seen on nearby historic buildings.
 - Place and size a special feature, including a transom, sidelight or decorative framing element, to complement those seen in nearby historic buildings.
 - Use a door material that blends well with surrounding historic buildings. Wood is preferred. Paneled doors with or without glass are generally appropriate.

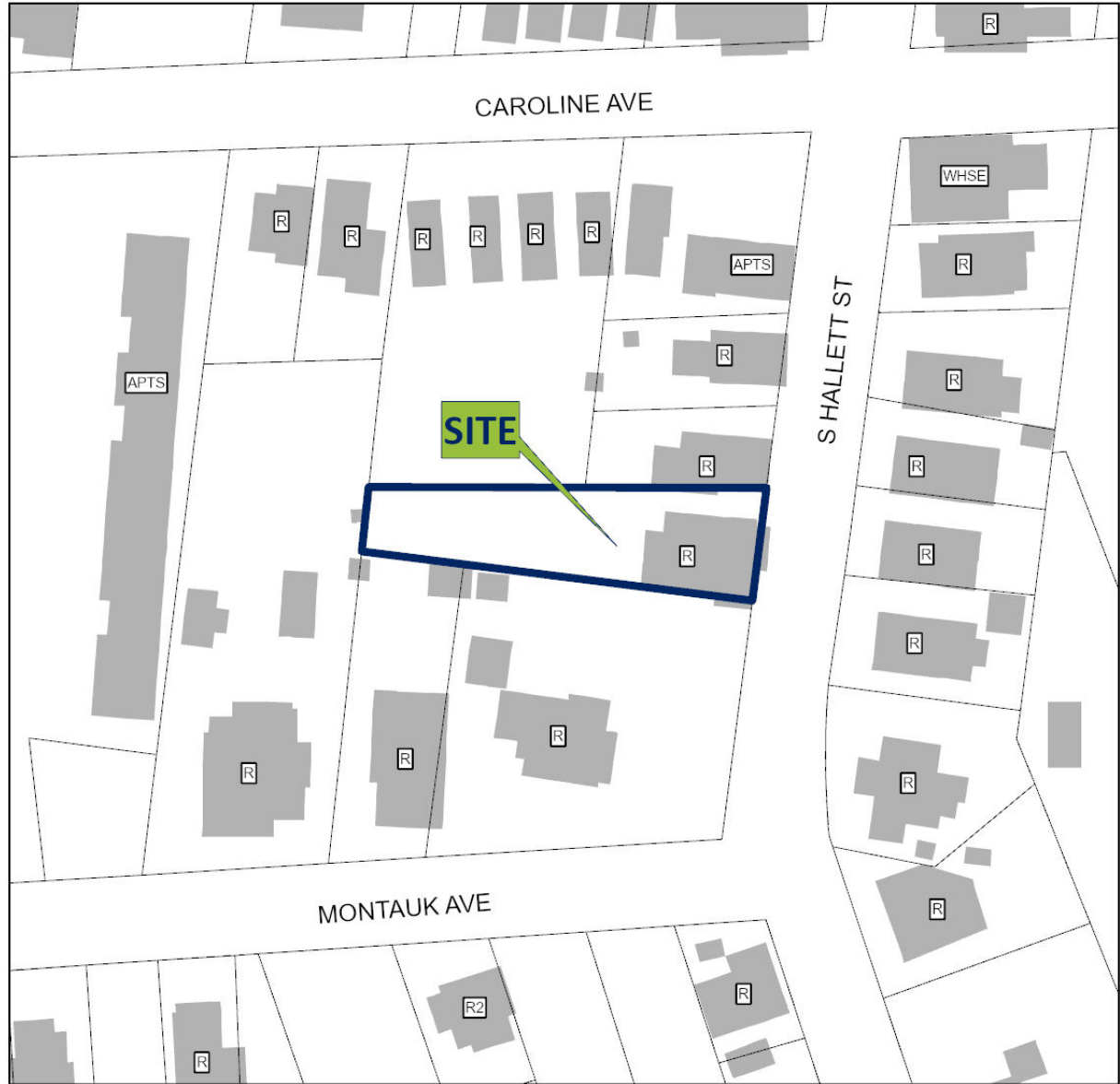
STAFF ANALYSIS

58 S. Hallett Street is a contributing property in the Old Dauphin Way Historic District. The application under review seeks approval to construct a one-story guesthouse structure at the property.

The proposed new structure would sit at the rear of the lot, behind the main historic dwelling, which would limit its visibility from the street, and would be in keeping with the location of most historic accessory structures in the immediate vicinity. The approximately 700sf structure with a total height of 15'-7" is considerably inferior to the primary dwelling. Its placement and size align with the guidelines for accessory structures. Additionally, all materials are approvable under the guidelines for new construction, and do not impair the historic integrity of the primary historic dwelling. (9.1, 9.2)

Site Location – 58 S. Hallett Street

ARCHITECTURAL REVIEW BOARD
VICINITY MAP



APPLICATION NUMBER 3 DATE 3/19/2025

APPLICANT Paul Davis on behalf of Marc Jackson

PROJECT Construct new ancillary guesthouse structure



Site Photos – 58 S. Hallett Street



1. View of property, looking W.



2. View of south elevation, looking NW.



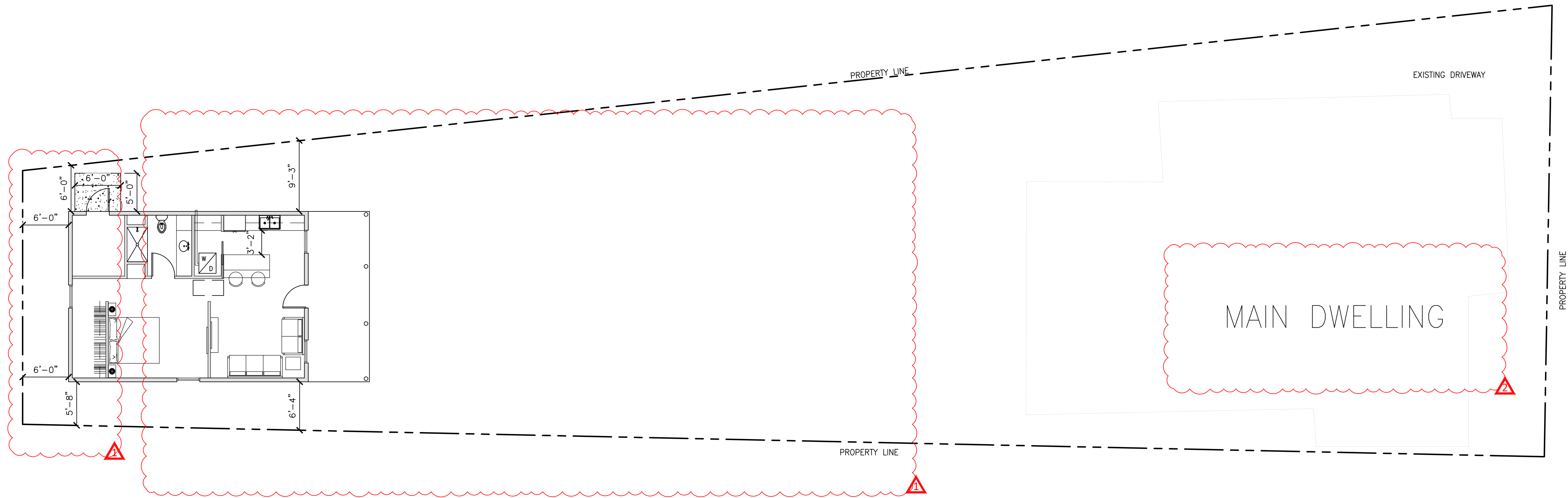
3. View of rear of lot, looking NW.



4. View of rear yard, looking NW.



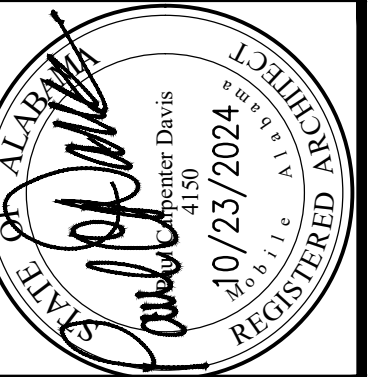
5. View of west end of lot (location of proposed guesthouse), looking W.



A ARCHITECTURAL SITE PLAN
G201 SCALE: 1/8" = 1'-0"

Marc Jackson Guest House
58 SOUTH HALLETT ST
MOBILE, AL 36604

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR
2	10/11/2025	AMC	CITY COMMENTS	PCD		
				PCD		



Sheet Title:
ARCHITECTURAL SITE PLAN

Project Number:
2024-45

Date:
OCT 23 2024

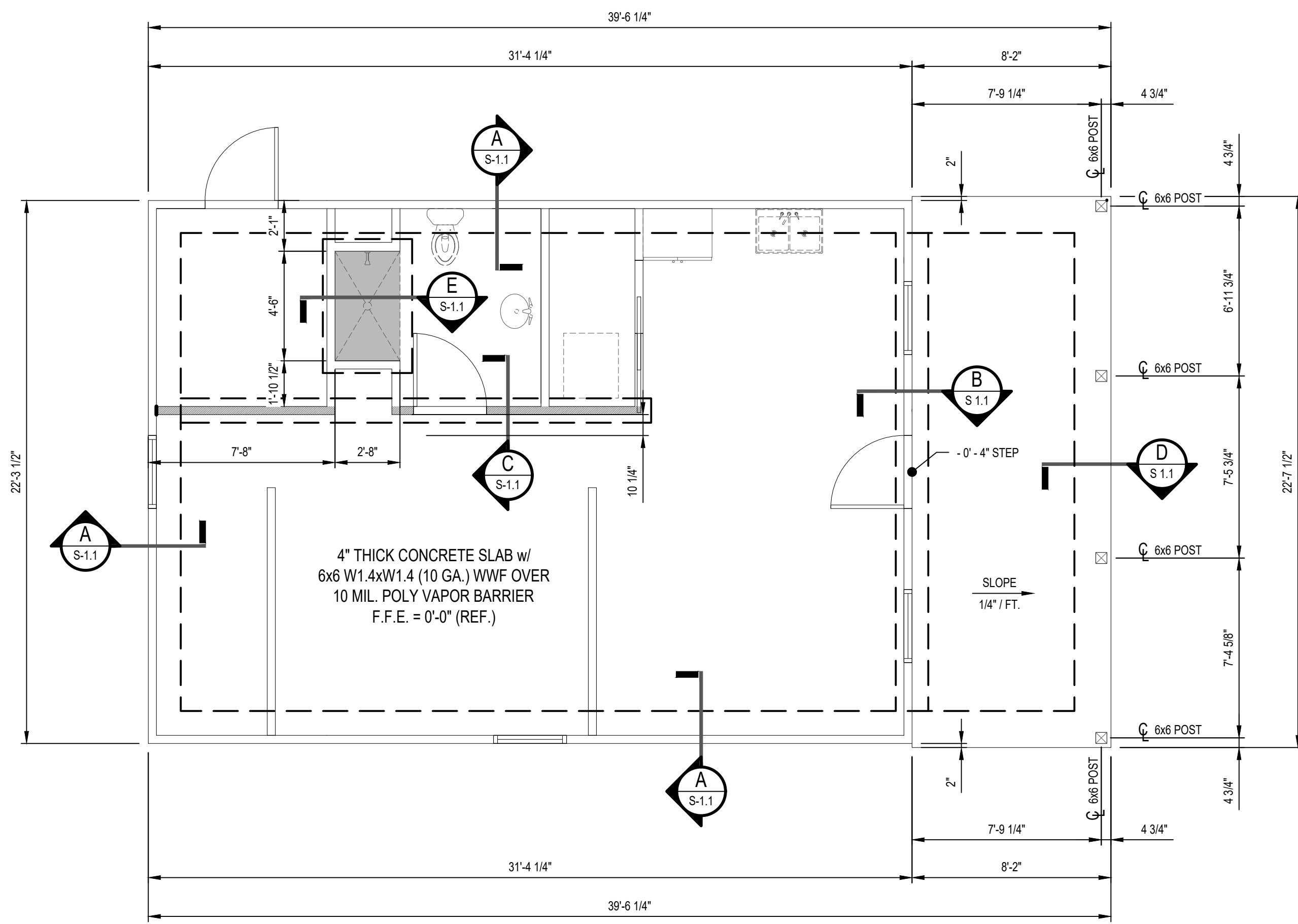
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CCC

Checked By:
PCD

Sheet No.

G201

LAST SAVED: J HOLIDAY 9/30/2024 9:26:15 AM B:\Structural Engineering\B/E Engineering CB, LLC\2024\CB2408-038 Marc's Guest House\CB2408-038 Marc's Guest House.dwg THESE DRAWINGS & DESIGN INTENT ARE THE SOLE PROPERTY OF B/E ENGINEERING CB, LLC AND THEIR CLIENT. & MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION. DO NOT SCALE FROM DRAWINGS.



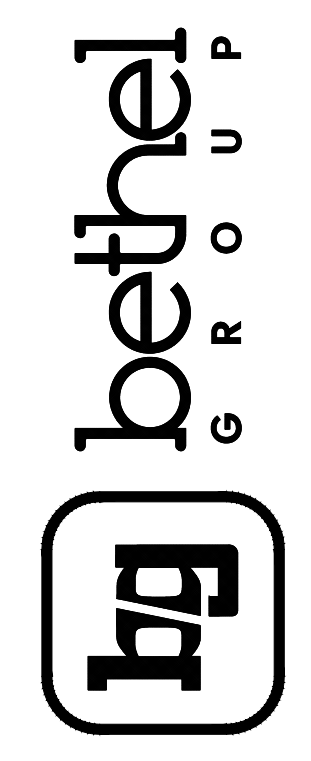
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL DIMENSIONS ARE TAKEN TO FACE OF STUD.
 2. ALL EXTERIOR PORCH POSTS SHALL BE PT 6x6 POSTS U.N.O.
 3. FACE OF PORCH FOUNDATION DOES NOT ALIGN WITH FACE OF HOUSE FRAMING, DUE TO THE 2" MIN. SIDE CLEARANCE AS REQUIRED BY SIMPSON STRONG TIE IN RELATION TO THE ABU POST BASE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT BUMPING OUT THE PORCH FOUNDATION DOES NOT ENCR OACH ON A SETBACK LINE.

LEGEND:

- INTERIOR LOAD-BEARING WALL
- ▭ RECESSED SLAB

B/E ENGINEERING CB, LLC
3233 Executive Park Cir.
Mobile, AL 36606
251-661-4747
thebethelgroup.com



PROPOSED NEW CONSTRUCTION FOR
MARCS RESIDENCE
58 SOUTH HALLETT ST
MOBILE, AL 36604

REV	DATE	BY	DESCRIPTION

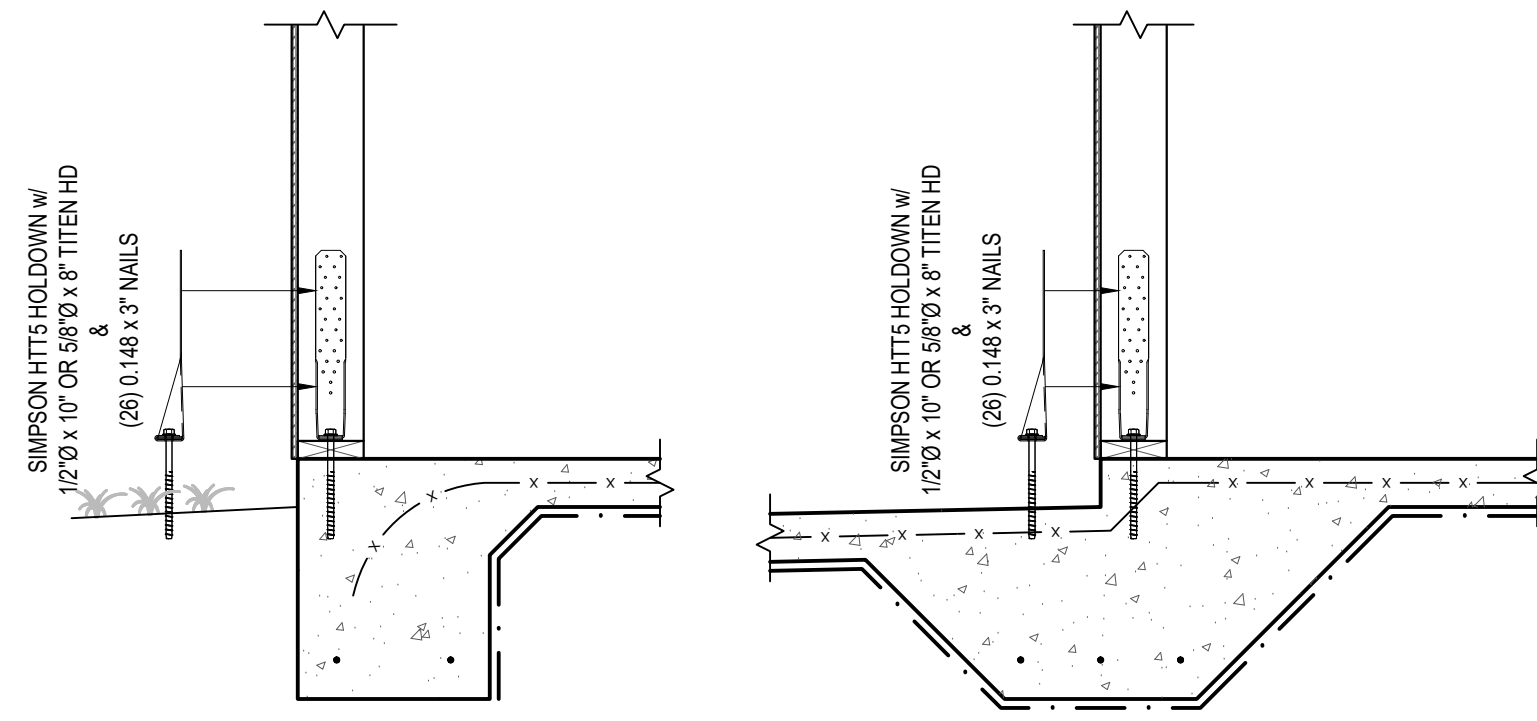
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DRAWN BY: JEH
CHECKED BY: VDL
ISSUE DATE: 09-30-2024



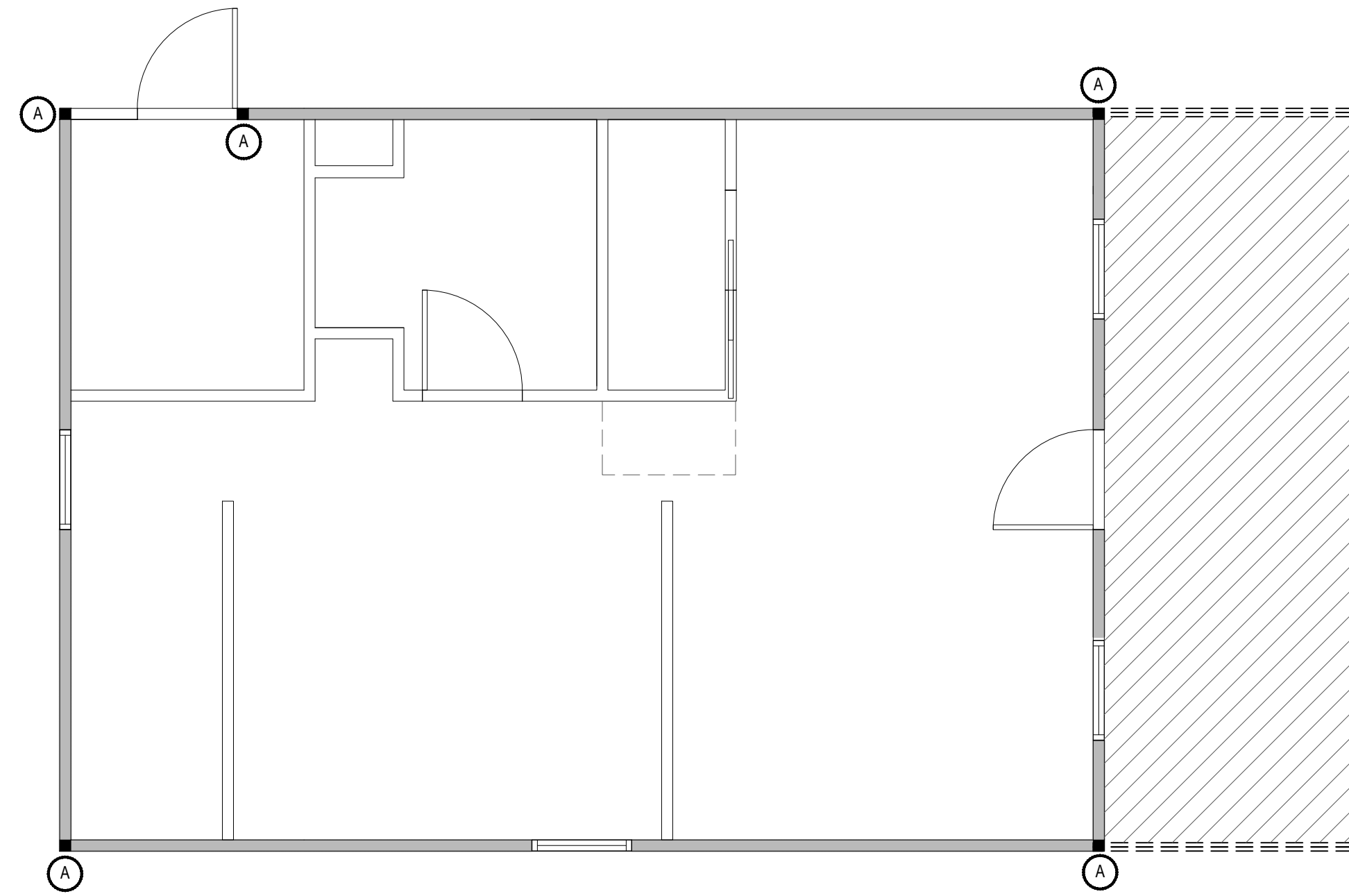
SHEET TITLE & NUMBER:
FOUNDATION PLAN

S-1.0

LAST SAVED: J. HOLLADAY 9/30/2024 9:26:17 AM B:\Structural Engineering\B/E Engineering CB, LLC\2024\CB2408\CB2408-038 Marcs Guest House\CB2408-038 Marcs Guest House.dwg THESE DRAWINGS & DESIGN INTENT ARE THE SOLE PROPERTY OF B/E ENGINEERING CB, LLC AND THEIR CLIENT. & MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION. DO NOT SCALE FROM DRAWINGS.



A SIMPSON HTT5 HOLDDOWN DETAIL
SCALE: 3/4" = 1'-0"



SHEAR WALL PLAN
SCALE: 1/4" = 1'-0"

NOTES:

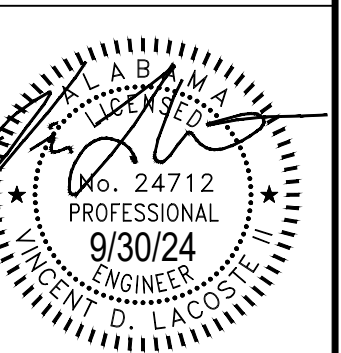
1. ALL EXTERIOR WALLS SHALL HAVE 7/16" NOMINAL APA RATED PLYWOOD OR OSB SHEATHING WITH 8d RING SHANK NAILS AT 4" O.C. EDGE AND 6" O.C. FIELD SPACING.
2. ONLY THE EXTERIOR FACE OF WALLS SHALL BE SHEATHED U.N.O.
3. ALL PORCH CEILINGS SHALL HAVE 7/16" NOMINAL APA RATED PLYWOOD OR OSB SHEATHING WITH 8d RING SHANK NAILS AT 4" O.C. EDGE AND 12" O.C. FIELD SPACING.

LEGEND:

- SHEATHING FOR CEILING DIAPHRAGM
- SHEAR WALL
- SIMPSON HTT5 HOLDDOWN

REV	DATE	BY	DESCRIPTION

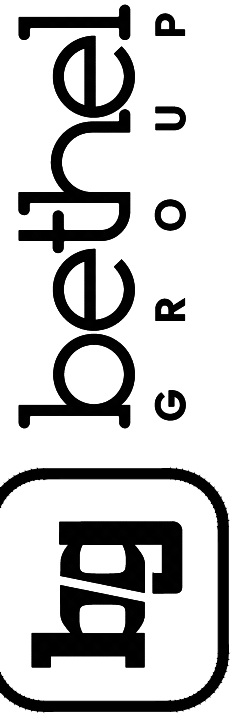
PROJECT NUMBER: CB2408-038
 DRAWN BY: JEH
 CHECKED BY: VDL
 ISSUE DATE: 09-30-2024



SHEET TITLE & NUMBER:
SHEAR WALL PLAN

S-4.0

PROPOSED NEW CONSTRUCTION FOR
MARCS RESIDENCE
 58 SOUTH HALLETT ST
 MOBILE, AL 36604



B/E ENGINEERING CB, LLC
 3233 Executive Park Cir.
 Mobile, AL 36606
 251-661-4747
 thebethelgroup.com

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR



Sheet Title:
**FLOOR PLAN,
 CEILING/ELECTRICAL
 PLAN**

Project Number:
2024-45

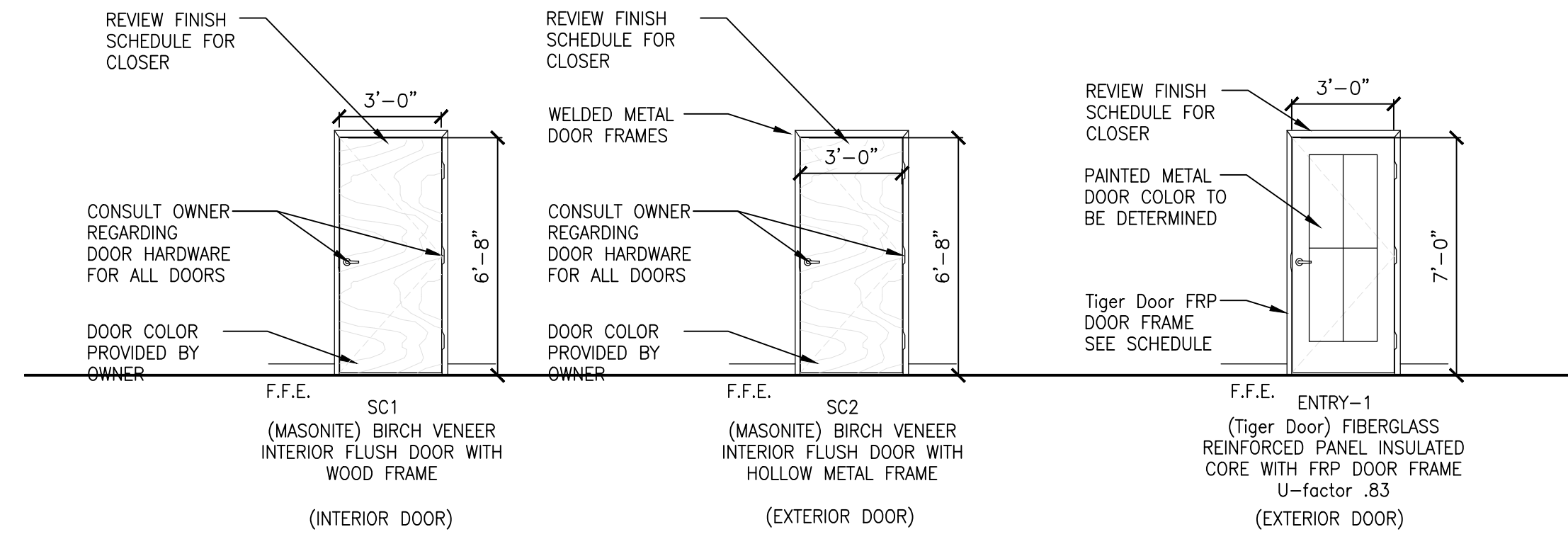
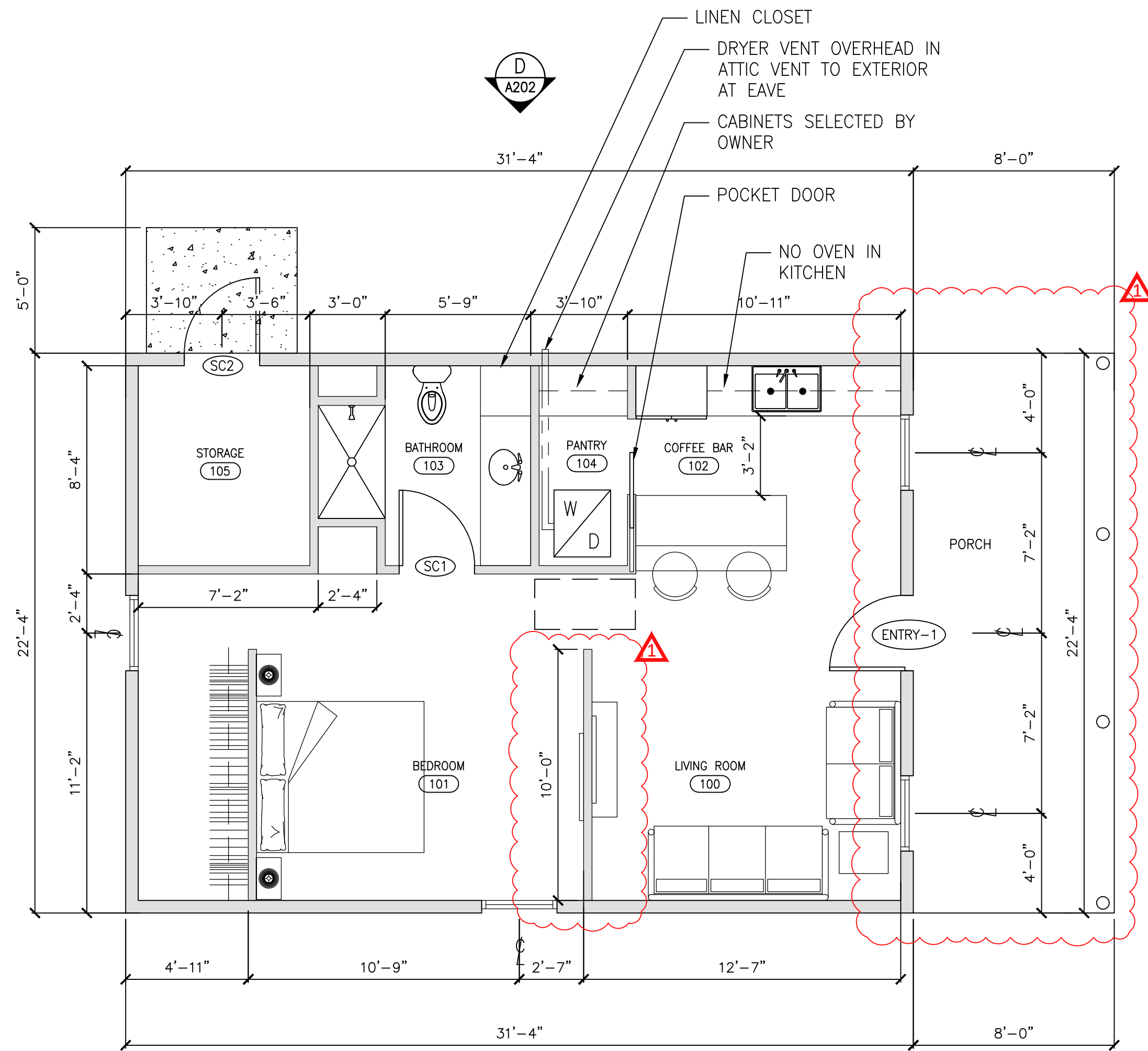
Date:
OCT 23 2024

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Sheet No.

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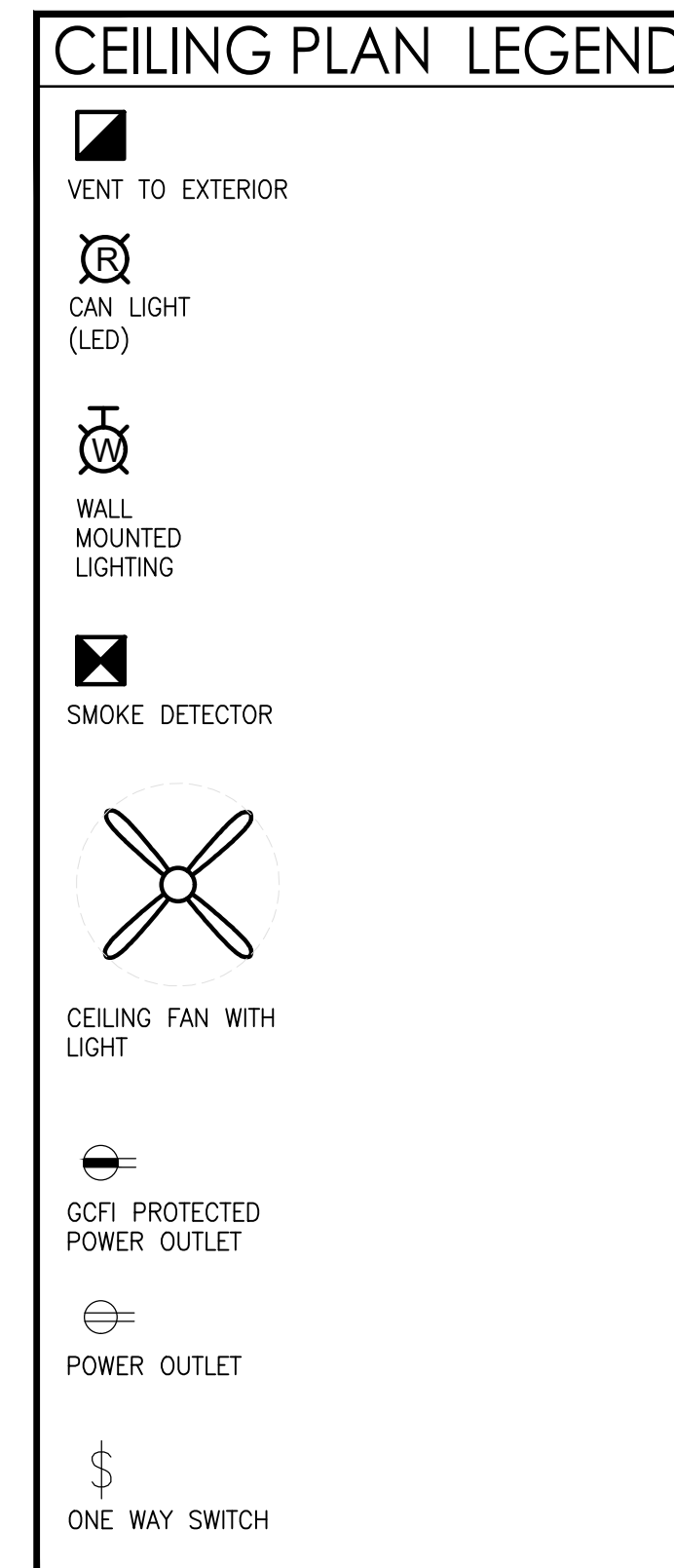
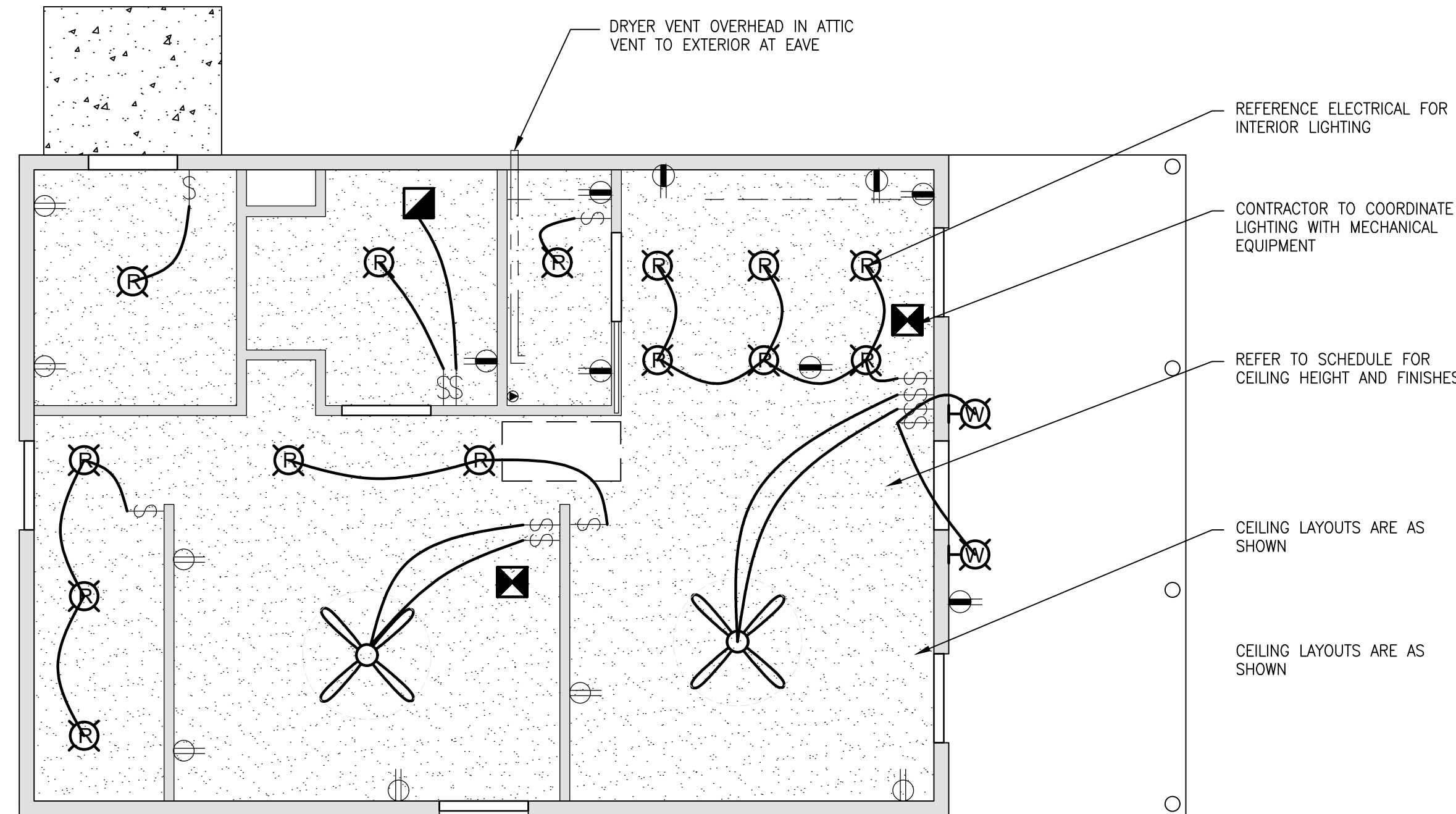
DOOR DETAILS

NOTE: POCKET DOOR IN PLAN

FINISHES:

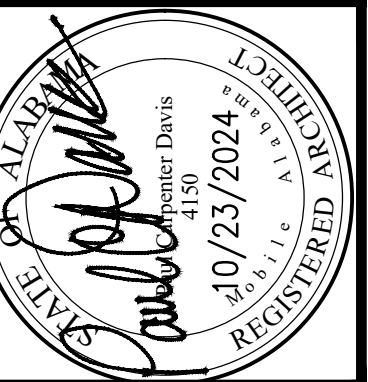
WALLS: GYP. BOARD
 BASE: WOOD
 CEILING: SMOOTH FINISH GYP. BOARD
 FLOOR: SELECT BY OWNER

A
FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 700 SQUARE FEET



B
CEILING PLAN & ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR
2	03/11/2025	AMC	CITY COMMENTS			



Sheet Title:
EXTERIOR ELEVATIONS

Project Number:
2024-45

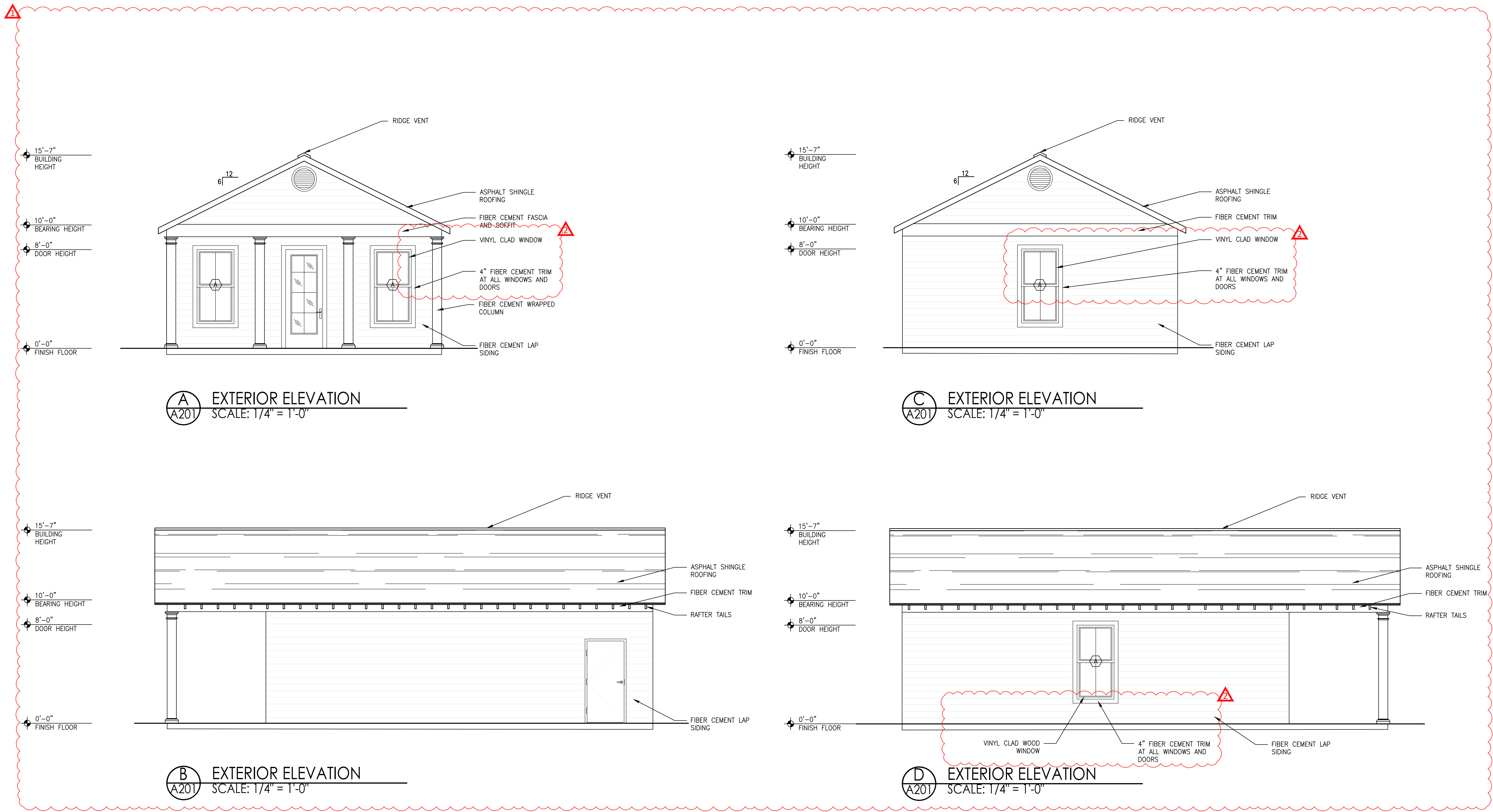
Date:
OCT 23 2024

Drawn By:
CCC

Checked By:
PCD

Sheet No.

A201



A EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

C EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

B EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

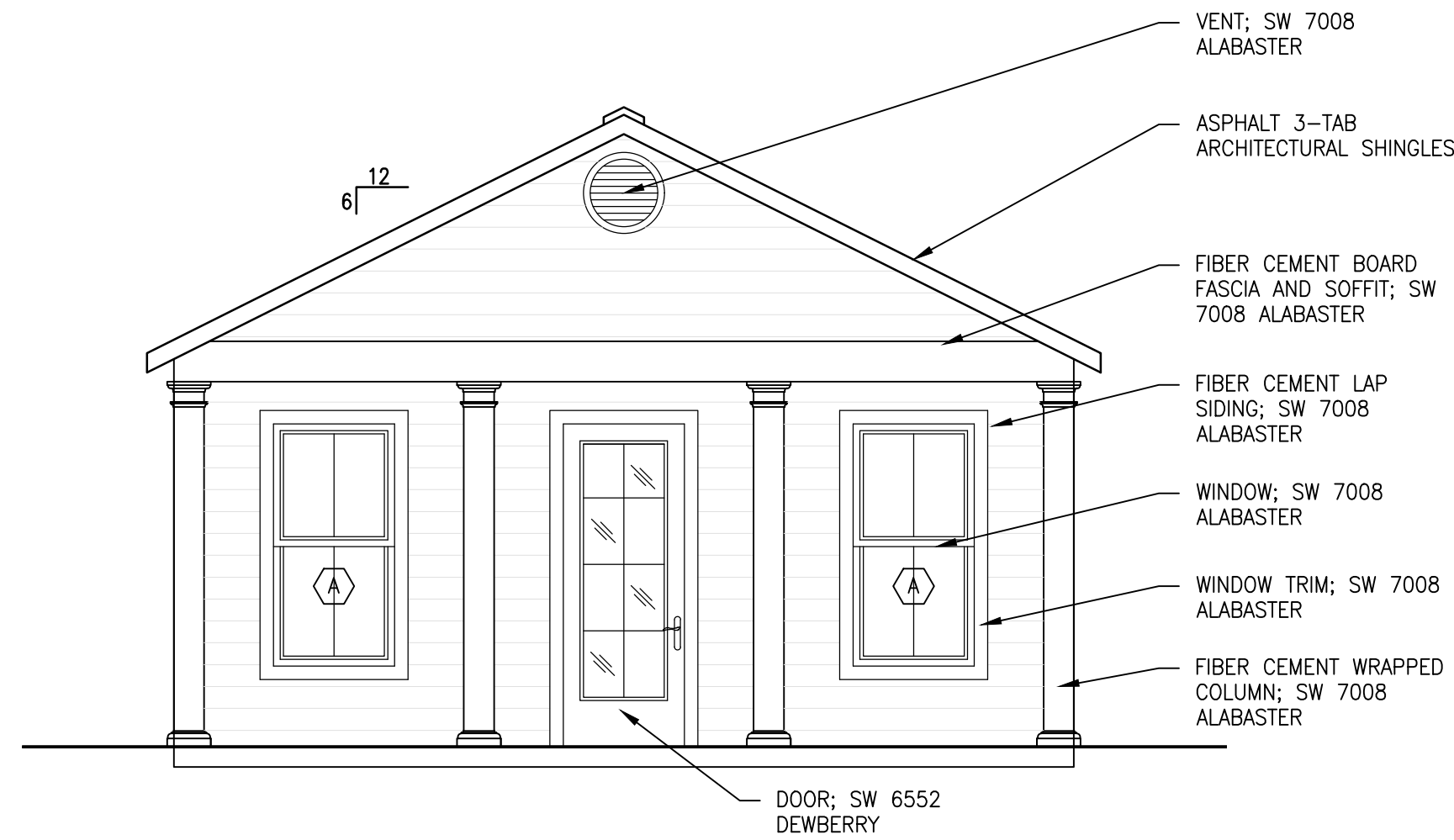
D EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

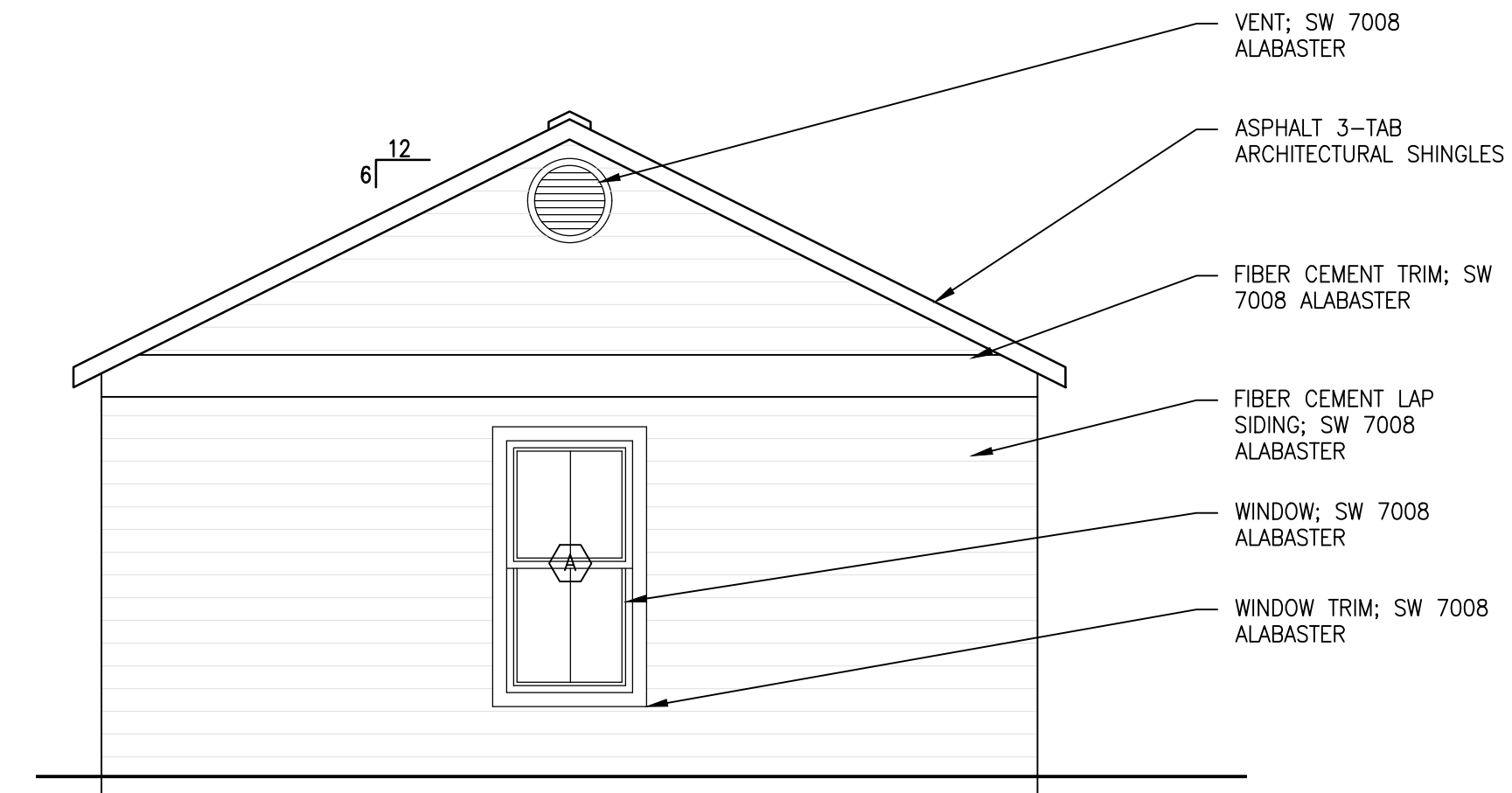
WINDOW MARKER	UNIT TYPE	UNIT SIZE WxH	UNIT MATERIAL	UNIT COLOR	MANUFACTURE #	SIDE TRIM	TOP TRIM	SILL	U-FACTOR	SHGC	GLAZING	REMARKS
A	SINGLE HUNG	3'0" x 5'0"	S.B.O.	MATCH EXISTING	S.B.O.	-	-	-	.50	.25	-	PROTECTION PER ASTM E-1996

WINDOW NOTES

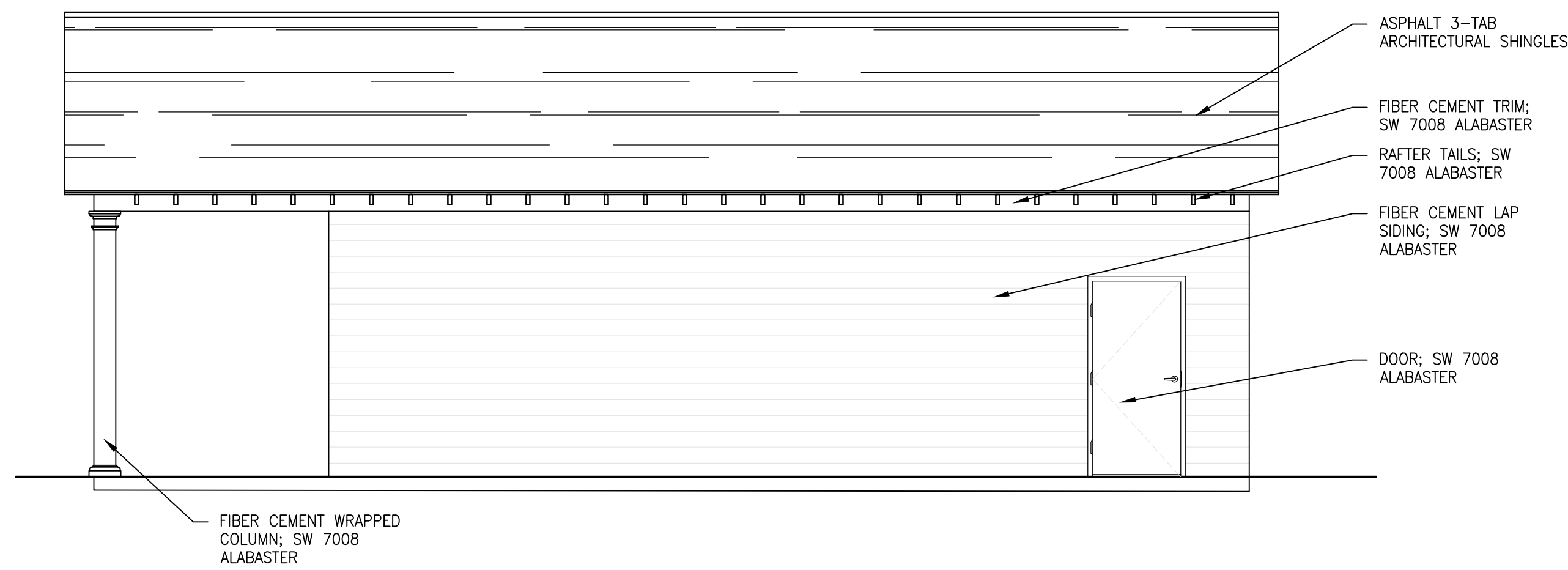
1. CONTRACTOR SHALL VERIFY ROUGH OPENING REQUIREMENTS OF ALL OPENINGS PRIOR TO ORDERING WINDOWS ALL BE EQUAL TO THE RATING OF.
2. ALL WINDOWS SHALL BE DOUBLED GLAZE REFER TO REMARKS.
3. WINDOW SIZES FOR CUSTOM UNITS ARE APPROXIMATE. CONTRACTOR SHALL DETERMINE ACTUAL SIZE BASED ON FRAMING PRIOR TO ORDERING.
4. ALL GLASS SHALL MEET THE AREA LIMITATION REQUIREMENTS IN IBC 2403
5. WINDOWS SHALL BE MANUFACTURES' STANDARD SIZES, EXCEPT WHERE NOTED AS CUSTOM.
6. CONTRACTOR SHALL NOTIFY ARCHITECT OF CHANGES TO WINDOW SIZES PRIOR TO ORDERING.



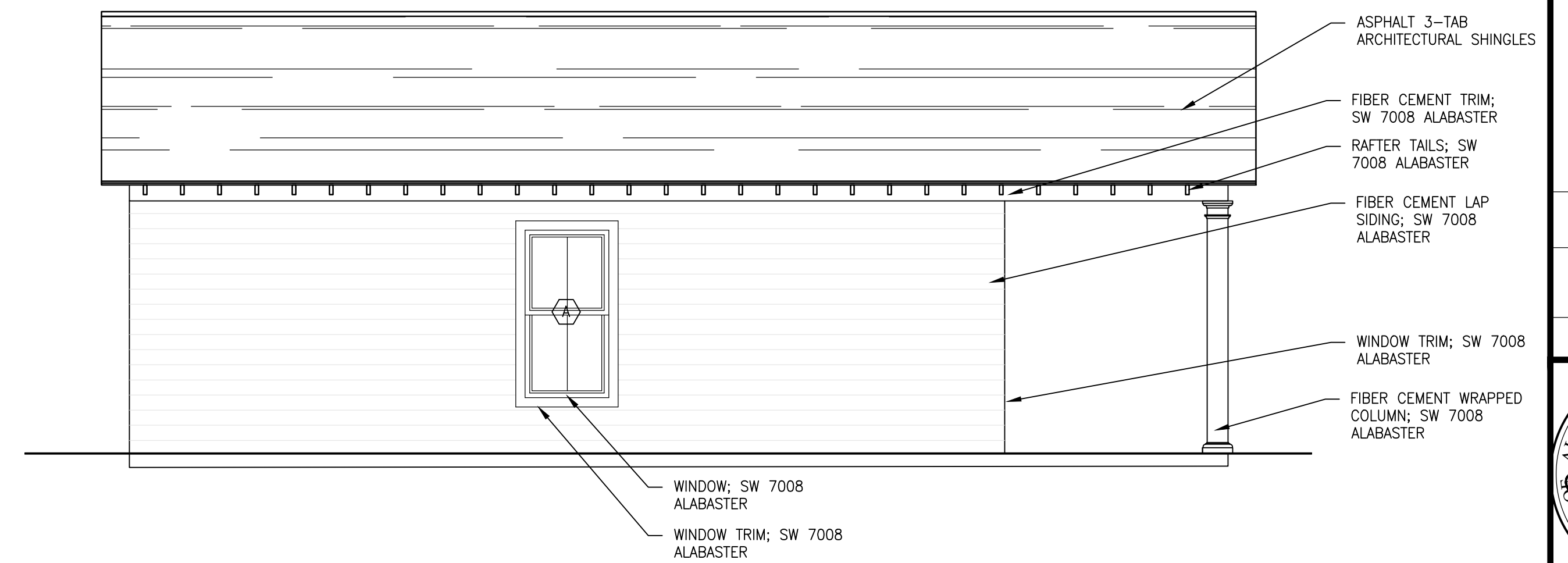
A EXTERIOR ELEVATION
A202 SCALE: 1/4" = 1'-0"



C EXTERIOR ELEVATION
A202 SCALE: 1/4" = 1'-0"



B EXTERIOR ELEVATION
A202 SCALE: 1/4" = 1'-0"



D EXTERIOR ELEVATION
A202 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE												
WINDOW MARKER	UNIT TYPE	UNIT SIZE WxH	UNIT MATERIAL	UNIT COLOR	MANUFACTURE #	SIDE TRIM	TOP TRIM	SILL	U-FACTOR	SHGC	GLAZING	REMARKS
A	SINGLE HUNG	3'0" x 5'0"	S.B.O.	MATCH EXISTING	S.B.O.	-	-	-	.50	.25	-	PROTECTION PER ASTM E-1996

WINDOW NOTES

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REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR



Sheet Title:
EXTERIOR PAINT PLAN

Project Number:
2024-45

Date:
OCT 23 2024

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Sheet No.:

A202