



Agenda Item #3

Application 2024-69-CA

DETAILS

Location:

259 S. Broad Street

Summary of Request:

Remove aluminum siding; open existing rear porch; fenestration alterations; remove concrete steps, stoop and sidewalk on north elevation; in-kind repairs and replacements

Applicant (as applicable):

Douglas Kearley

Property Owner:

Blake Collum

Historic District:

Oakleigh Garden

Classification:

Contributing

Summary of Analysis:

- Proposed work is predominantly in-kind repairs and replacements which comply with the *Guidelines* and can be approved at the Staff level.
- The proposed fenestration alterations establish an appropriate rhythm across the elevations. The replacement windows and door conform with the *Guidelines* in regard to placement, size, profile, and material. In certain cases, existing windows are being relocated and reused on the structure.

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PROPERTY AND APPLICATION HISTORY

Oakleigh Garden Historic District was initially listed in the National Register in 1972 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of architecture, landscape architecture, and planning and development. The district is significant for its high concentration of 19th- and 20th-century architectural types and styles and significant in the area of landscape architecture for its canopies of live oaks planted from 1850 to 1910. The district is significant in the area of planning and development as the location of Washington Square, one of only two antebellum public parks remaining in Mobile. The district was expanded in 1984, and an updated nomination was approved in 2016.

The property at 259 S. Broad Street is a c. 1900 hipped roof raised framed cottage with Victorian detailing. The four-bay façade consists of a gable roof bay window on the north end and a front porch spanning the three southern bays, supported by turned posts with carved decorative brackets. The current structure is square with a narrow rear projection. The 1904 Sanborn shows a more vernacular form on the site, consisting of a narrow and deep rectangular block with an offset rear projecting wing punctuated by an open porch running along the length of its south elevation. The subsequent 1924 overlay depicts a form more closely resembling the present structure. The rear wing with open porch matches that of the 1904 design. It is likely that the house was remodeled to resemble its neighbor to the south at 261 S. Broad, which also consists of a bay window on the north end of the façade, and a front porch to the south. Over time, the house has undergone extensive alterations such as the application of aluminum siding, the enclosure of the rear wing porch, window alterations, and the addition of a shed roof porch on the east elevation.

According to Historic Development records, this property has never appeared before the Architectural Review Board

SCOPE OF WORK

1. Remove aluminum siding. Repair or replace wood siding to match existing.
2. Open existing porch on south elevation of rear projection.
3. Carry out the following fenestration alterations:

West façade

- Remove door on north end of porch and install a new wood window. Replace entry door with salvaged wood door.

South elevation of main block

- Close two (2) small openings with wood siding to match existing.

South elevation of rear projection

- Install three (3) pairs of 2'-6" wide by 6'-8" high aluminum clad wood multi-light French doors, evenly distributed across the south elevation of rear projection.

North elevation of main block

- Remove (2) and relocate windows on north elevation as shown on submitted plans. Openings would be filled with wood siding to match existing. The relocation would result in four (4) two-over-two windows dispersed across the elevation with three grouped toward the east end and one located toward the west end (as seen on submitted plans).
- Remove door and small window associated with existing concrete stoop and steps (also to be removed).

North elevation of rear projection

- Remove existing door on east end of elevation and replace with new two-over-two window to match existing windows.
- Remove two (2) existing two-over-two windows located on the centered projecting bay along the elevation. Install two (2) two-light aluminum clad wood windows and fill remainder of opening with wood siding to match existing (as seen on submitted plans)

- Close existing small opening and remove water heater closet located on recessed bay at the west end of the projection.

East elevation of main block

- Remove two (2) existing windows. Install one (1) 2'-0" x 2'-0" window centered on the bay.

East elevation of rear projection

- Remove existing window and door. Openings would be filled with wood siding to match existing. Install one (1) multi-light wood door north of existing door opening.

4. Repair and restore existing wood windows.
5. Remove doors on south elevation and replace with salvaged wood door.
6. Repair or replace wood cornice, front porch columns, railings and brackets to match existing.
7. Remove concrete steps and stoop on north elevation.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. **5.4** Preserve original building materials.
 - Repair deteriorated building materials by patching, piecing-in, consolidating or otherwise reinforcing the material.
 - Remove only those materials which are deteriorated, and beyond reasonable repair.
 - Do not remove original materials that are in good condition.
2. **5.5** Preserve and restore the visibility of original historic materials.
 - Consider removing later covering materials that have not achieved historic significance.
 - Once a non-historic siding is removed, repair the original, underlying material.
 - Carefully remove a later stucco finish if the process does not damage the underlying original building material if possible.
 - Do not remove a later stucco covering if the process may damage the underlying original building material. Test the stucco to assure that the original material underneath will not be damaged.
 - Do not cover or obscure original building materials.
3. **5.6** Use original materials to replace damaged materials on primary surfaces where possible.
 - Use original materials to replace damaged building materials on a primary façade if possible. If the original material is wood clapboard, for example, then the replacement material should be a material that matches the original in finish, size and the amount of exposed lap. If the original material is not available from the site, use a replacement material that is visually comparable with the original material.
 - Replace only the amount of material required. If a few boards are damaged beyond repair, for example, then only they should be replaced, rather than the entire wall.
 - Do not replace building materials on the primary façade, such as wood siding and masonry, with alternative or imitation materials unless it cannot be avoided.
 - Wholesale replacement of exterior finishes is generally not allowed.
4. **5.7** When replacing materials on a non-primary façade or elevation, match the original material in composition, scale and finish.
 - Use original materials to replace damaged materials on a non-primary façade when possible.
 - The ARB will consider the use of green building materials, such as those made with renewable and local resources to replace damaged materials on a nonprimary façade if they do not impact the integrity of the building or its key features.
 - Use alternative or imitation materials that match the style and detail of the original material to replace damaged non-primary building materials.
 - Replace exterior finishes to match original in profile, dimension and materials.
5. **5.15** Repair or replace a damaged historic door to maintain its general historic appearance.
 - Replacements should reflect the age and style of the building.
 - Use materials that are visually comparable to that of the original.
 - Do not use solid core or flush doors.

ACCEPTABLE DOOR MATERIALS Materials that are the same as the original, or that appear similar in texture and finish to the original are acceptable.

These often include:

- » Wood panel
- » Wood panel with glass lights
- » Leaded glass with lead cames
- » Metal with a painted finish
- » Other materials original to the building

UNACCEPTABLE DOOR MATERIALS Materials that do not appear similar to the original in texture and finish are unacceptable.

These often include:

- » Unfinished Metal
- » Fiberglass or synthetic
- » Wood flush doors

6. **5.20** Preserve the functional historic and decorative features of a historic window.

- Where historic (wooden or metal) windows are intact and in repairable condition, retain and repair them to match the existing as per location, light configuration, detail and material.
- Preserve historic window features, including the frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation, and groupings of windows.
- Repair, rather than replace, frames and sashes, wherever possible.
- For repair of window components, epoxies and related products may serve as effective solutions to material deterioration and operational malfunction.

ACCEPTABLE WINDOW MATERIALS Materials that are the same as the original, or that appear similar in texture, profile and finish to the original are acceptable.

These often include:

- » Wood sash
- » Steel, if original to structure
- » Custom extruded aluminum
- » Aluminum clad wood
- » Windows approved by the National Park Service

UNACCEPTABLE WINDOW MATERIALS Materials that do not appear similar to the original in texture, profile and finish are unacceptable.

These often include:

- » Vinyl
- » Mill-finished aluminum
- » Interior snap-in muntins (except when used in concert with exterior muntins and intervening dividers)

7. **6.5** Repair a porch in a way that maintains the original character

STAFF ANALYSIS

The property under review is a historic structure located in the locally designated portion of Oakleigh Garden Historic District. The application proposes predominantly in-kind repairs and restoration work which are in line with the *Guidelines* and can be approved administratively. (5.4-5.7, 5.15, 5.20, 6.5) Additionally, fenestration alterations are proposed for the north and south, and east elevations.

On the north and east elevations, proposed closures of existing fenestrations openings would be filled with wood siding to match existing. All proposed new windows would be aluminum-clad wood. Removed wood windows on the north elevation would be relocated as shown on submitted plans. On the south elevation of the rear projection, the proposed three pairs of French doors are consistent with the style and rhythm of fenestration of the dwelling, and comply with the Guidelines regarding material, proportion, and profile. (5.15)

**ARCHITECTURAL REVIEW BOARD
VICINITY MAP**



APPLICATION NUMBER <u>3</u> DATE <u>12/4/2024</u>	
APPLICANT <u>Douglas Kearley on behalf of Ryan McKee</u>	
PROJECT <u>Remove aluminum siding; open up exist rear porch; fenestration alterations; remove concrete steps, stoop & sidewalk on north elevations; in-kind repairs & replacements</u>	

Site Photos – 259 S. Broad Street



1. View of property, looking NE



2. View of north elevation, looking SE



3. Detail of front porch and doors to be removed.



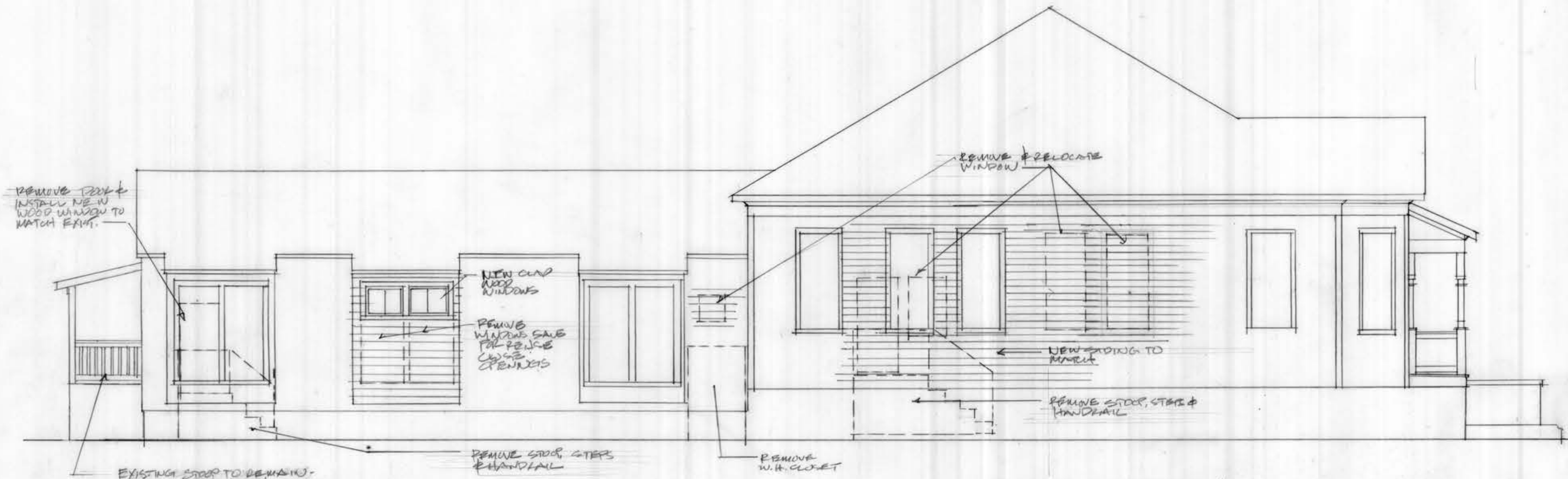
4. View of south elevation, looking NW



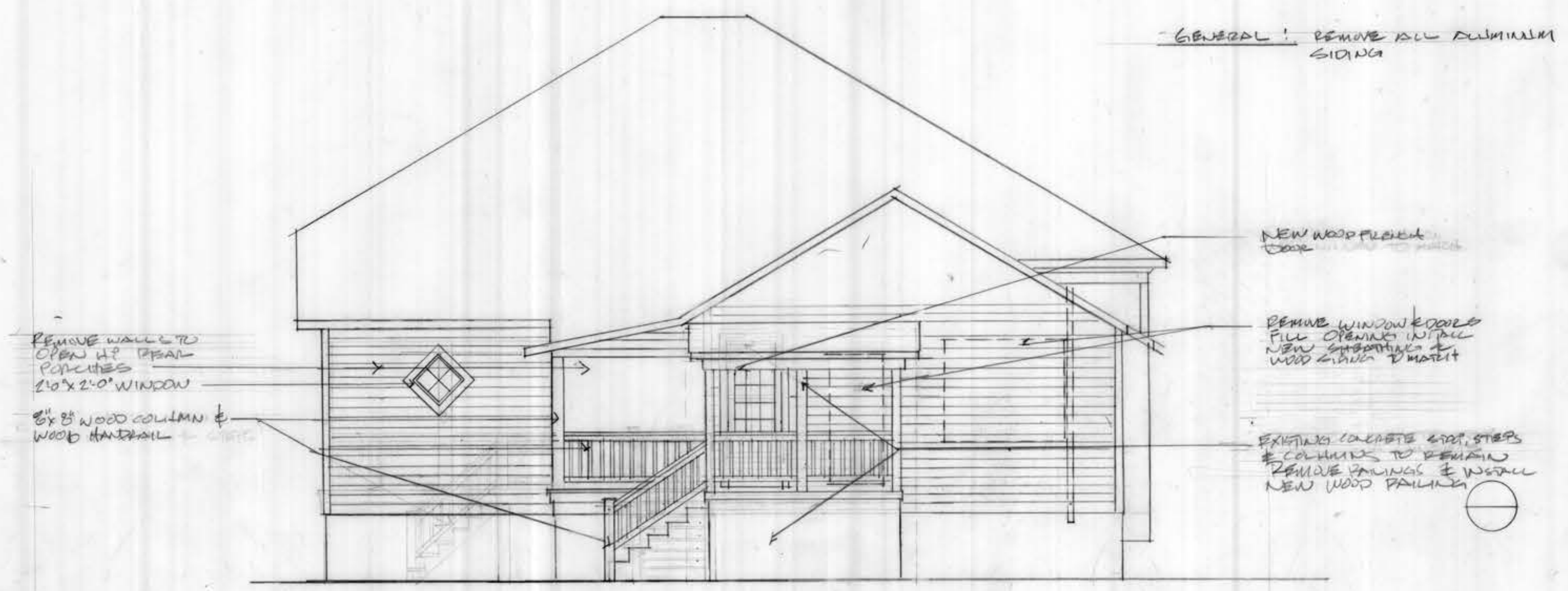
5. View of east (rear) elevation, looking W



6. View of north elevation, looking E



NORTH ELEVATION
 SCALE 1/4" = 1'-0"

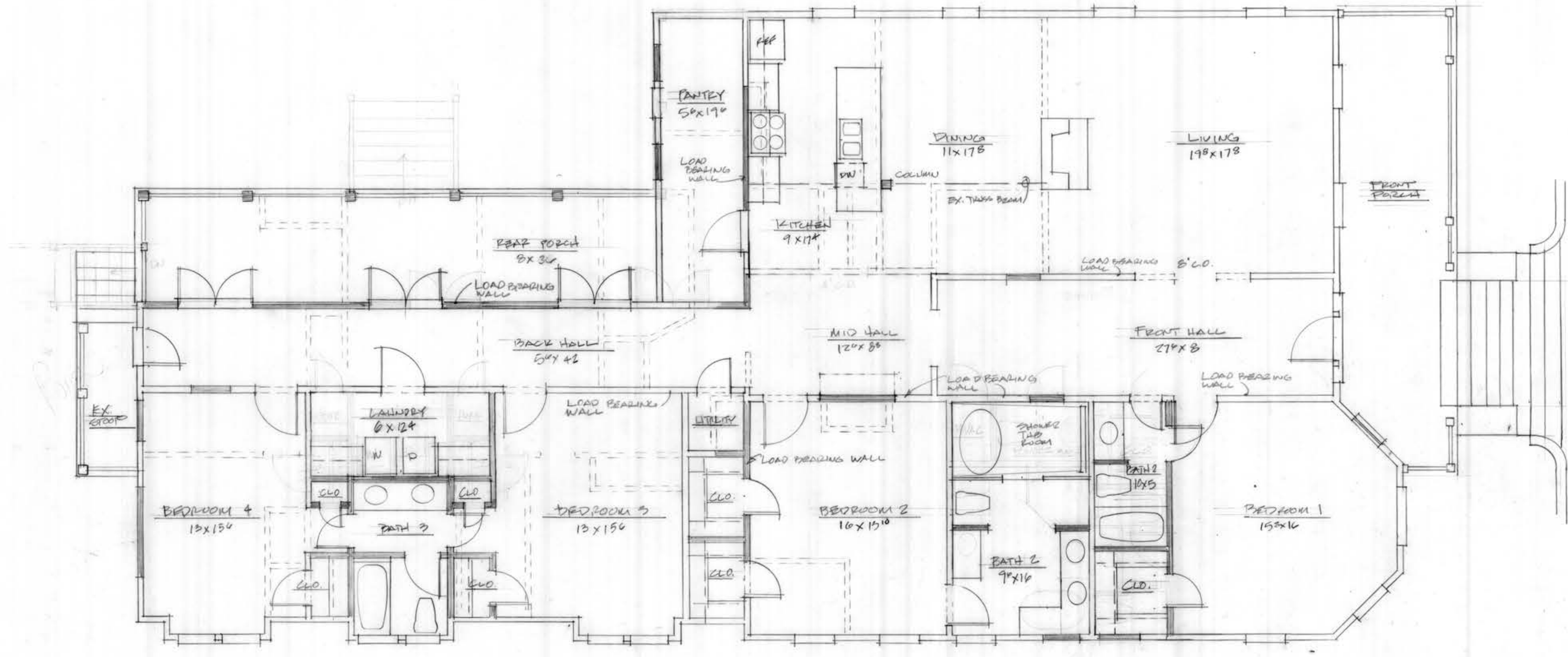


EAST ELEVATION
 SCALE 1/4" = 1'-0"

GENERAL: REMOVE ALL ALUMINUM SIDING

Renovation and Return of
 259 S. Broad Street
 To a Single Family Home
 For Blake Collum
 Mobile, Alabama 36604

17 SEPT 2024
 28 SEPT 2024
 4 NOV. 2024



FLOOR PLAN
 SCALE 1/4" = 1'-0"

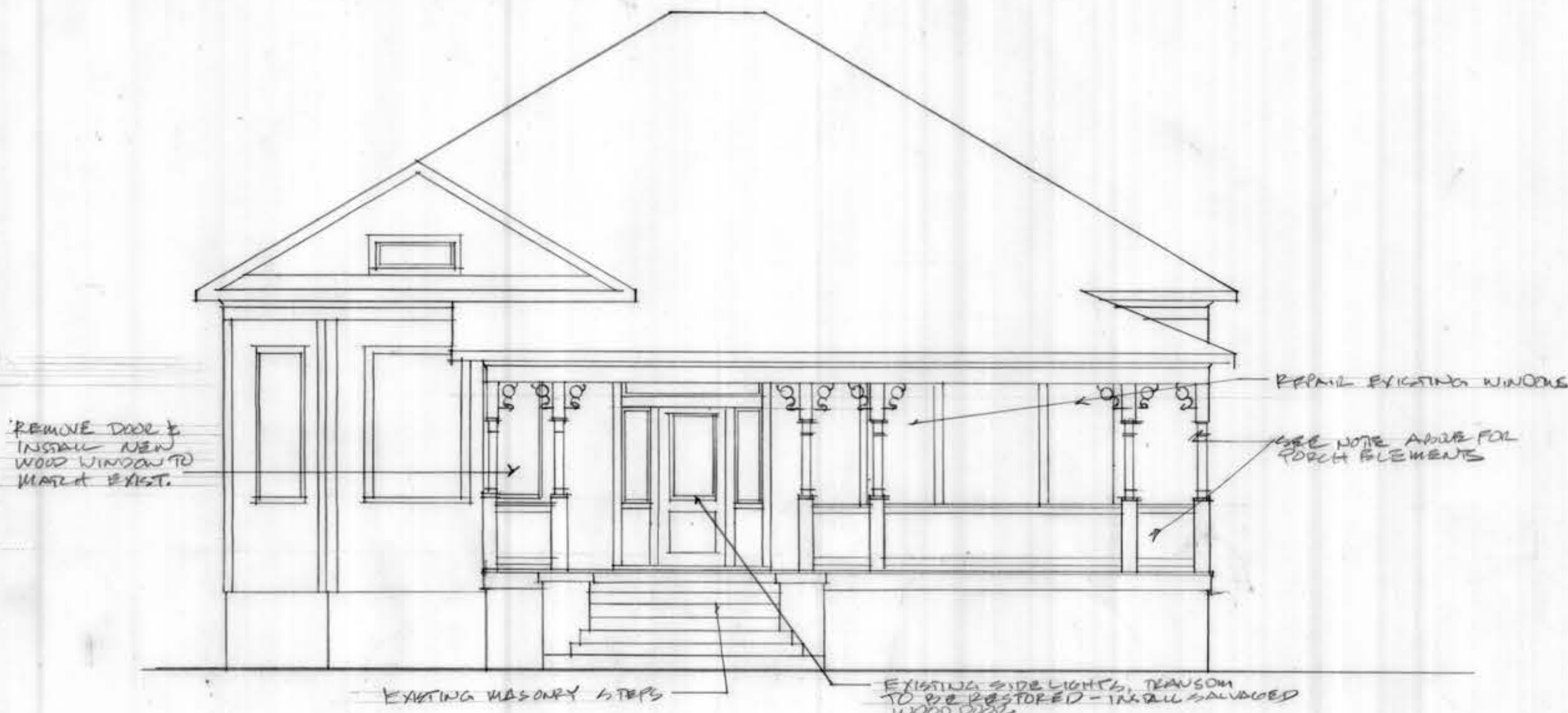
Renovation and Return of
 259 S. Broad Street
 To a Single Family Home
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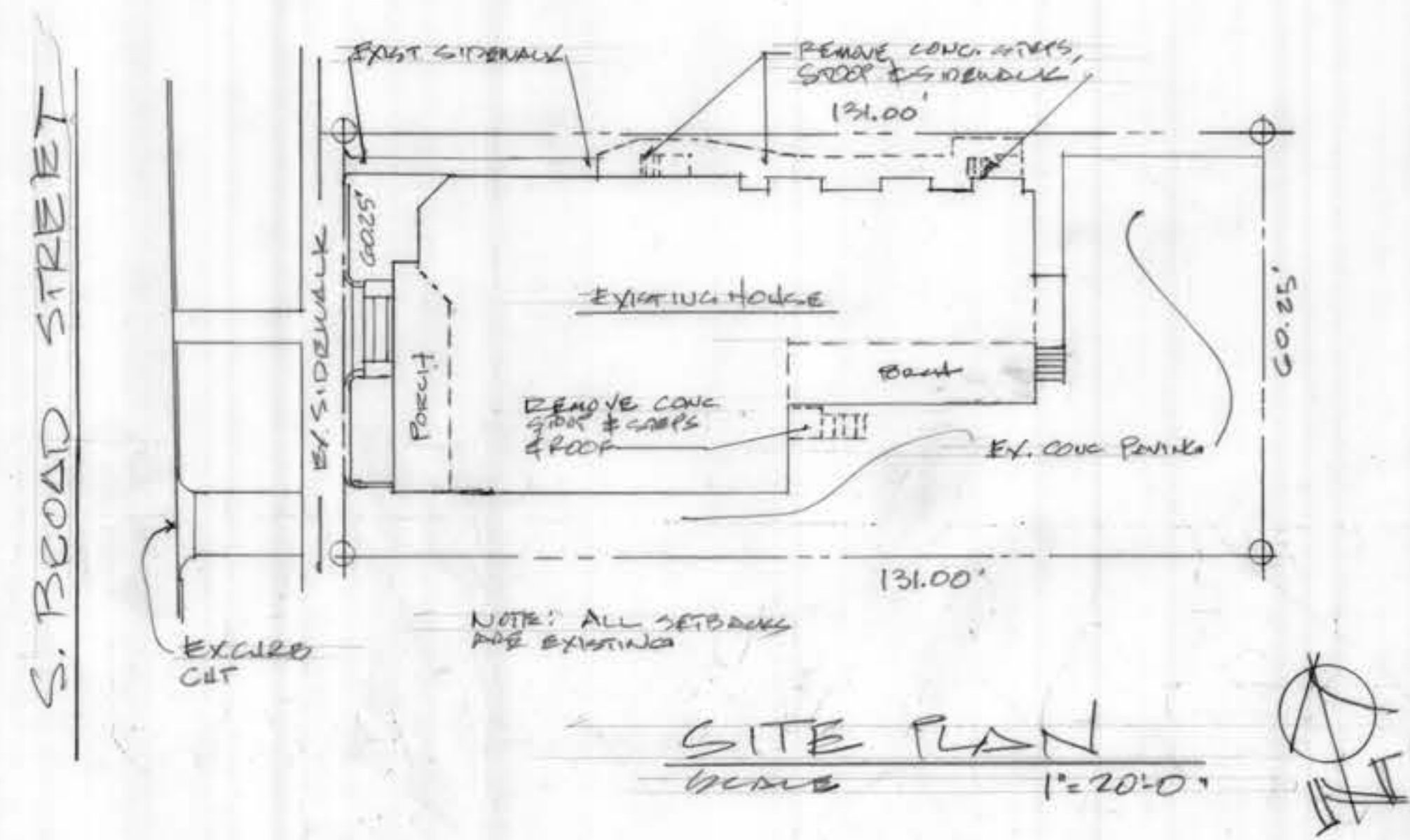


SOUTH ELEVATION
 SCALE 1/4"=1'-0"

GENERAL: REMOVE ALL ALUMINUM SIDING



WEST ELEVATION
 SCALE 1/4"=1'-0"



SITE PLAN
 SCALE 1"=20'-0"