



Agenda Item #4

Application 2024-70-CA

DETAILS

Location:

1011 Augusta Street

Summary of Request:

Construct a second-floor addition to existing rear wing

Applicant (as applicable):

Douglas Kearley

Property Owner:

Ryan McKee

Historic District:

Oakleigh Garden

Classification:

Contributing

Summary of Analysis:

- Proposed addition would match the footprint of existing rear wing.
- Addition would sit to the rear of the main block, slightly higher than the main roof with minimal visual impact.
- Materials, fenestration, details, and design are compatible with the architectural character of the historic structure, and are compliant with the *Guidelines*.

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PROPERTY AND APPLICATION HISTORY

Oakleigh Garden Historic District was initially listed in the National Register in 1972 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of architecture, landscape architecture, and planning and development. The district is significant for its high concentration of 19th- and 20th-century architectural types and styles and significant in the area of landscape architecture for its canopies of live oaks planted from 1850 to 1910. The district is significant in the area of planning and development as the location of Washington Square, one of only two antebellum public parks remaining in Mobile. The district was expanded in 1984, and an updated nomination was approved in 2016.

The property at 1011 Augusta Street, also known as the Percy House, is a c. 1904 frame one-and-a-half story central hall cottage with classical detailing. It is rectangular in plan with a rear wing to the east. This form is depicted on the 1904, 1924, and 1955 editions of the Sanborn maps. Currently, a rear porch, which was enclosed in 2002, runs along the west elevation of the rear wing. This porch is not represented on any historic maps and was likely added in the 1960s when, according to Historic Development vertical files, alterations were made to the property. At this time, dormers were added to each slope of the main block's roof to create living space on the upper floor, when the house was converted into apartments. Apart from the addition of the dormers and alterations to rear including window replacement and the porch addition and subsequent enclosure, the house generally retains its original fabric.

This property appeared once before the Architectural Review Board (ARB) when in 2002 a project to enclose the rear porch was approved.

SCOPE OF WORK

Construct a second-floor addition to existing rear wing.

- a. The proposed addition would be located behind the main block of the structure and would match the footprint of the existing one-story rear wing, with a 6'-0" wide by 23'-0" deep upper porch along the west elevation. The addition would rise 8'-0" to the top of plate.
- b. The addition would be topped by a hipped roof clad in shingles to match existing.
- c. The walls of the addition would be clad in Hardie smooth siding which would match the existing weatherboard siding on the house. A new wood cornice, similar to that on the original house, would be installed along the elevations.
- d. Fenestration would include aluminum clad wood windows and doors.
- e. The proposed porch along the west elevation would be supported by four (4) 6" square wood posts, evenly distributed across the elevation. A 3'-0" high wood railing would enclose the porch between the posts.

- f. Fenestration would appear as follows:

South elevation

No fenestration is proposed for this elevation.

West elevation

One (1) pair of French doors, each measuring 2'-0" wide by 6'-8" high doors, centered on the elevation.

East elevation

Two (2) two-over-two 2'-10" wide by 4'-0" high windows, evenly distributed across the elevation.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. **6.9** Place an addition so that it is subordinate to the historic residential structure.
 - Place and design an addition to the rear or side of the historic building wherever possible.
 - Place a vertical addition in the rear so it is not visible from the street.
2. **6.10** Design an addition to be compatible in massing and scale with the original historic structure.

- Design the massing of an addition to appear subordinate to the historic building.
 - Where feasible, use a lower-scale connecting element to join an addition to a historic structure.
 - Where possible, match the foundation and floor heights of an addition to those of the historic building.
3. **6.11** Design the exterior walls of an addition to be compatible in scale and rhythm with the original historic structure.
 - Design the height of an addition to be proportionate with the historic building, paying particular attention to the foundation and other horizontal elements.
 - Design the addition to express floor heights on the exterior of the addition in a fashion that reflects floor heights of the original historic building.
 4. **6.12** Clearly differentiate the exterior walls of an addition from the original historic structure.
 - Use a physical break or setback from the original exterior wall to visually separate the old from new.
 - Use an alteration in the roofline to create a visual break between the original and new, but ensure that the pitches generally match.
 5. **6.13** Use exterior materials and finishes that are comparable to those of the original historic residential structure in profile, dimension and composition. Modern building materials will be evaluated for appropriateness or compatibility with the original historic structure on an individual basis, with the objective of ensuring the materials are similar in their profile, dimension, and composition to those of the original historic structure.
 - Utilize an alternative material for siding as necessary, such as cement-based fiber board, provided that it matches the siding of the historic building in profile, character and finish.
 - Use a material with proven durability.
 - Use a material with a similar appearance in profile, texture and composition to those on the original building.
 - Choose a color and finish that matches or blends with those of the historic building.
 - Do not use a material with a composition that will impair the structural integrity and visual character of the building.
 - Do not use a faux stucco application.
 6. **6.14** Design a roof of an addition to be compatible with the existing historic building.
 - Design a roof shape, pitch, material and level of complexity to be similar to those of the existing historic building.
 - Incorporate overhanging exposed rafters, soffits, cornices, fascias, frieze boards, moldings or other elements into an addition that are generally similar to those of the historic building.
 - Use a roofing material for an addition that matches or is compatible with the original historic building and the district.
 7. **6.15** Design roofs such that the addition remains subordinate to the existing historic buildings in the district.
 - Where possible, locate a dormer or skylight on a new addition in an inconspicuous location.
 - In most cases, match a roof and window on a dormer to those of the original building.
 8. **6.16** Design doors and doorways to an addition to be compatible with the existing historic building.
 - If a historic door is removed to accommodate the addition, consider reusing it on the addition.
 - Design a door and doorway to be compatible with the historic building.
 - Use a door material that is compatible with those of the historic building and the district.
 - Use a material with a dimensionality (thickness) and appearance similar to doors on the original historic building.

- Design the scale of a doorway on an addition to be in keeping with the overall mass, scale and design of the addition as a whole.
9. **6.18** Design a new porch to be compatible with the existing historic building.
- Design the scale, proportion and character of a porch addition element, including columns, corner brackets, railings and pickets, to be compatible with the existing historic residential structure.
 - Match the foundation height of a porch addition to that of the existing historic structure.
 - Design a porch addition roofline to be compatible with the existing historic structure. However, a porch addition roofline need not match exactly that of the existing historic building. For example, a porch addition may have a shed roof.
 - Use materials for a porch addition that are appropriate to the building.
 - Do not use a contemporary deck railing for a porch addition placed at a location visible from the public street.
 - Do not use cast concrete steps on façades or primary elevations.
10. **6.21** Design a window on an addition to be compatible with the original historic building.
- Size, place and space a window for an addition to be in character with the original historic building.
 - If an aluminum window is used, use dimensions that are similar to the original windows of the house. An extruded custom aluminum window approved by the NPS or an aluminum clad wood window may be used, provided it has a profile, dimension and durability similar to a window in the historic building.

STAFF ANALYSIS

The historic dwelling at 1011 Augusta is a contributing resource in the Oakleigh Garden Historic District. The application under review seeks approval to construct a second-floor addition to the historic rear wing to the south of the structure's main block.

The *Guidelines* call for the placement of an addition to an existing historic structure to appear subordinate to the main structure. The proposed addition would be constructed on the footprint of the existing rear wing. This, along with its placement to the rear of the dwelling creates minimal visual impact, achieving the above-stated standard of the appearance of inferiority. In further compliance with the *Guidelines*, the scale and the rhythm of the proposed addition is congruous with that of the original structure in its preservation of consistent floor heights and roof form, traditional fenestration patterns, and horizontal elements such as the similar cornice board. (6.10,6.11, 6.14,6.15) The retention of the existing cornice on the rear wing would serve to clearly differentiate the historic structure from the second-floor addition. (6.12)

The materials, finishes, and details proposed for exterior walls, roof, porch, and fenestration of the addition match or complement those of the original historic structure, maintaining its architectural integrity and visual character. Likewise, the design and placement of the proposed porch under a hipped roof with symmetrical door placement on the west elevation which mimics symmetry seen elsewhere on the structure provides continuity and harmony in design. (6.13, 6.16, 6.18, 6.21)

Site Location – 1011 Augusta Street

ARCHITECTURAL REVIEW BOARD
VICINITY MAP



APPLICATION NUMBER 4 DATE 12/4/2024
APPLICANT Douglas Kearley on behalf of Ryan McKee
PROJECT Construct a second floor addition to existing rear wing



Site Photos – 1011 Augusta Street



1. View of property, looking SE



2. View of façade and east elevation, looking SW



3. View of south elevation, looking N



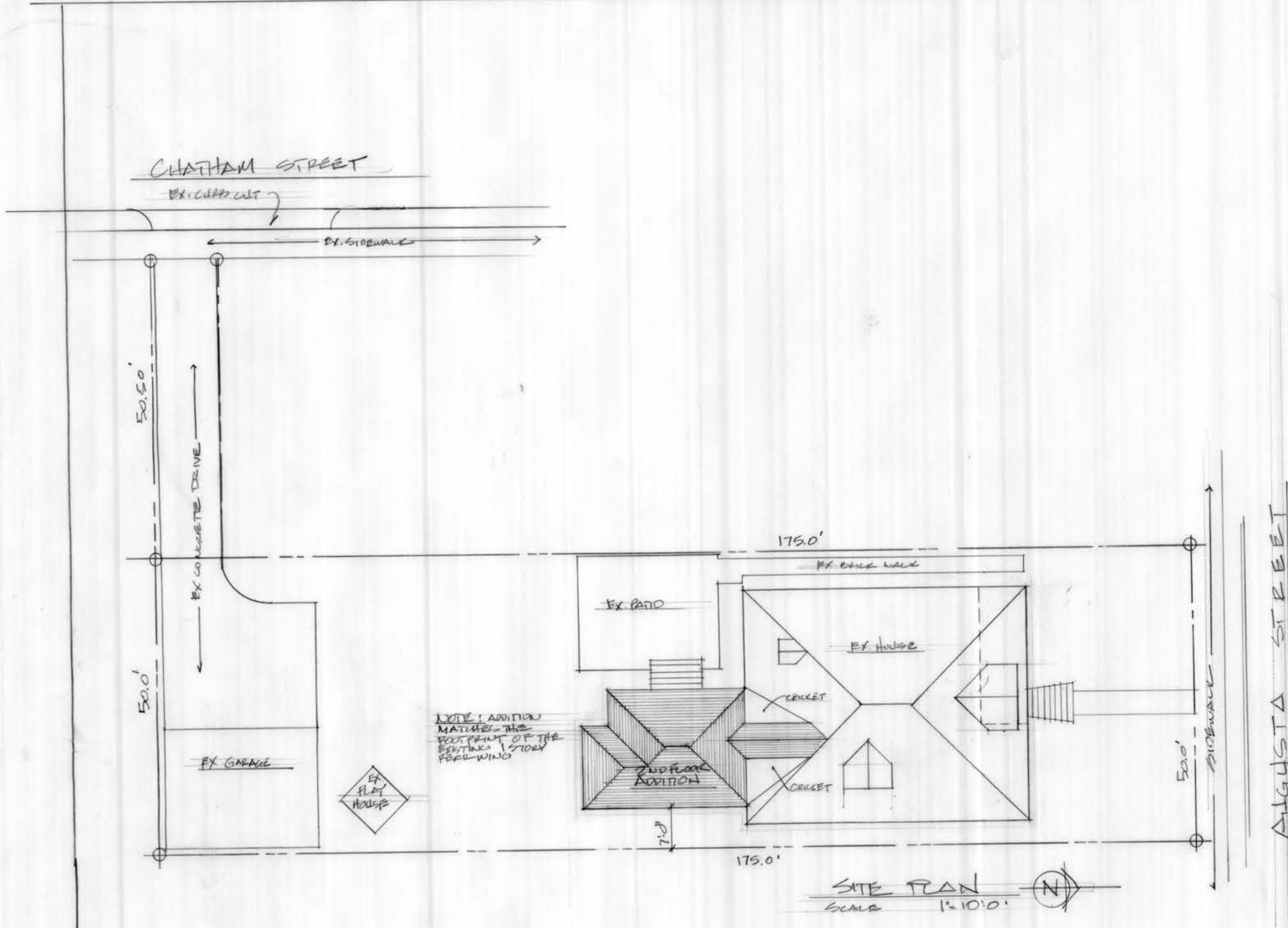
4. View of south elevation of main block, looking N



5. View of south and east elevations, looking NW



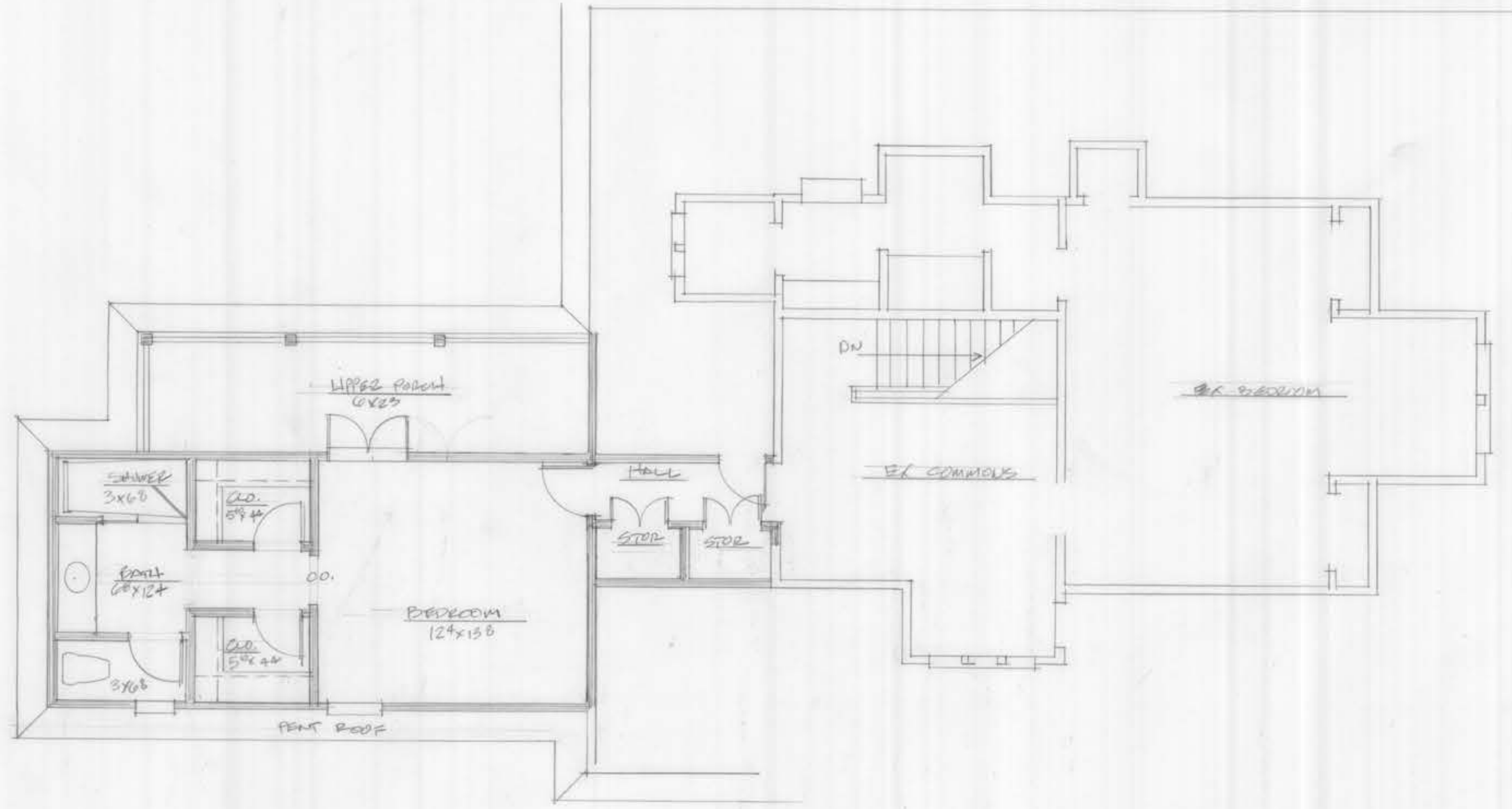
6. View of west elevation of rear wing, looking E



A SECOND FLOOR ADDITION FOR
 RYAN MCKEE
 1011 AUGUSTA STREET
 MOBILE, ALABAMA 36604

- City of Mobile Adopted Codes effective January 7, 2023
- 2021 IMC Local Amendment Effective January 7, 2023 Amendment
 - 2021 IPC Local Amendment Effective January 7, 2023
 - 2021 IFGC Local Amendment Effective January 7, 2023
 - 2021 IFGC Fee Schedule Local Amendment Effective January 7, 2023
 - 2020 NEC Local Amendment Effective January 7, 2023
 - 2021 IRC Local Amendment Effective January 7, 2023
 - 2021 Coastal Construction Code Supplement Effective January 7, 2023
 - 2021 IEBC Local Amendment Effective January 7, 2023
 - 2021 IBC Local Amendment Effective January 7, 2023

14 OCT 2024
 4 NOV 2024

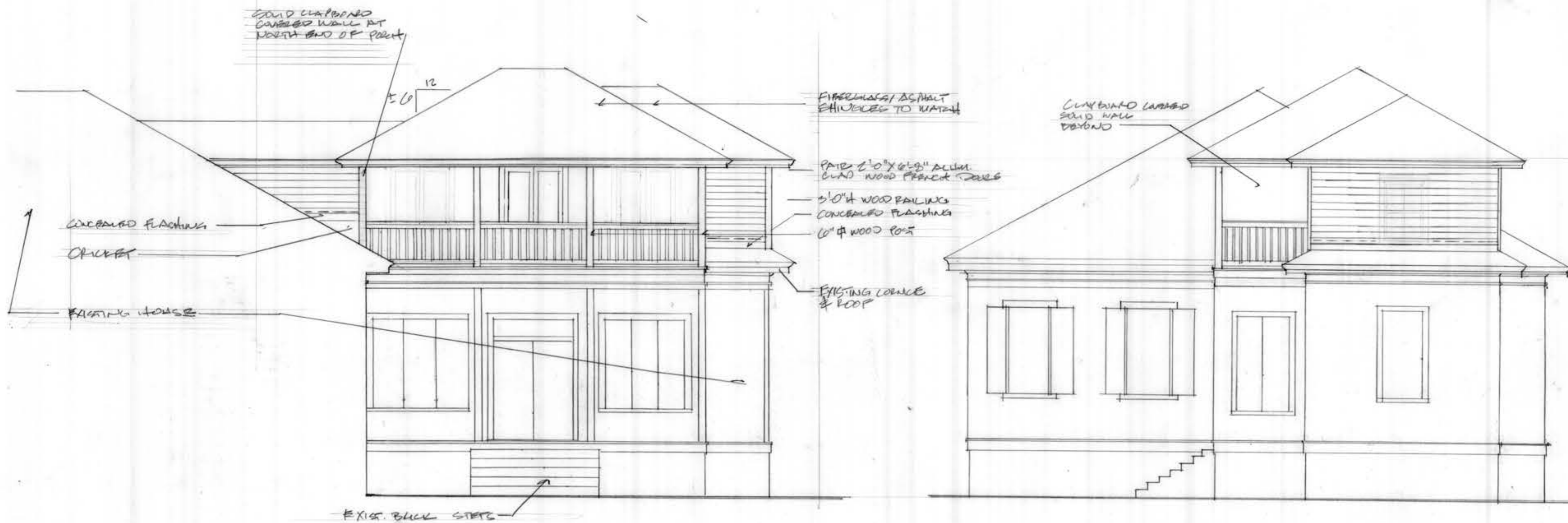


2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

A SECOND FLOOR ADDITION FOR
RYAN MCKEE
1011 AUGUSTA STREET
MOBILE, ALABAMA 36604

5 NOV 2024

2
20#3

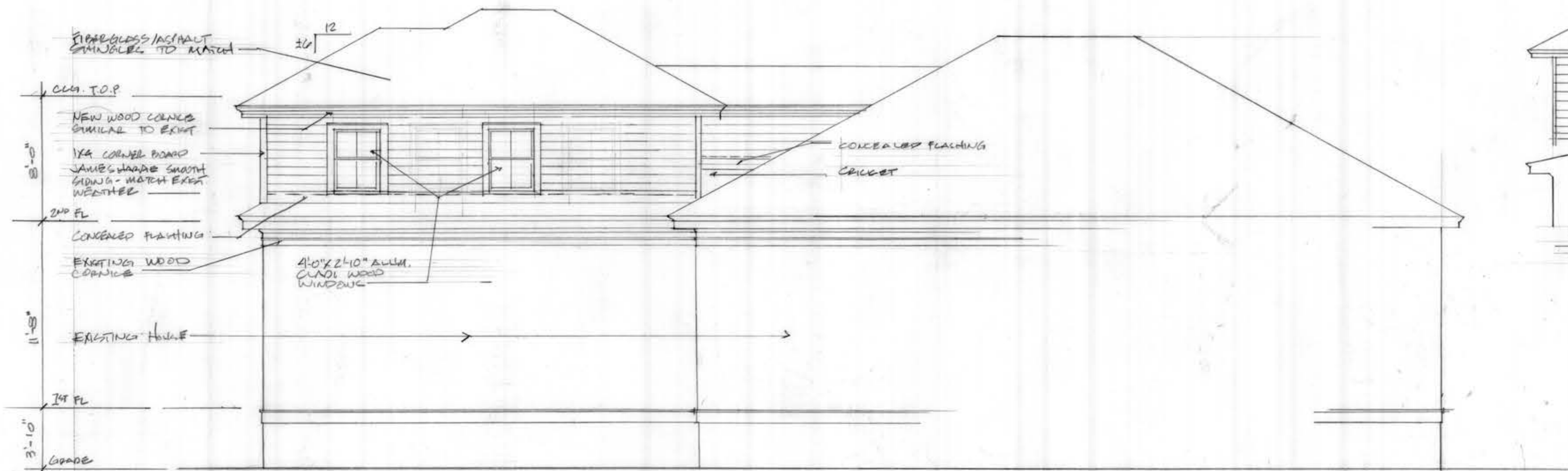


WEST ELEVATION

SCALE 1/4" = 1'-0"

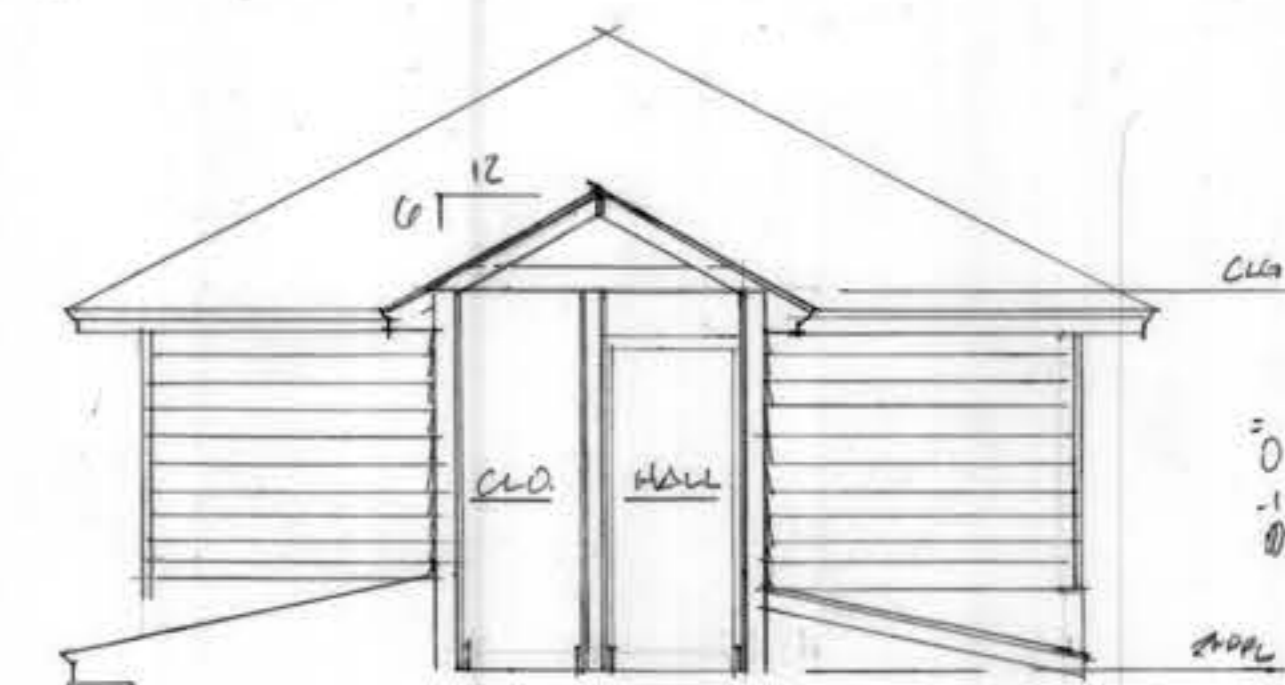
SOUTH ELEVATION

SCALE 1/4" = 1'-0"



EAST ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION / SECTION

SCALE 1/4" = 1'-0"

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14 OCT 2024
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